



## Duncanville Planning and Zoning Commission Regular Meeting

City Hall Council Chambers  
203 E. Wheatland Rd.  
Duncanville, TX 75116

**Monday, December 8, 2025**

**6:30 P.M. Briefing | 7:00 P.M. Meeting**

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*City of Duncanville Planning and Zoning Commission meetings are available to all persons regardless of disability. The Duncanville City Hall is accessible to people with disabilities. If you need assistance in participating in this meeting due to a disability as defined under the ADA, please call 972-780-5017 or email [city.secretary@duncanvilletx.gov](mailto:city.secretary@duncanvilletx.gov) at least three (3) business days prior to the scheduled meeting to request an accommodation.*

**As authorized by Section 551.071 of the Texas Government Code, this meeting may be convened into closed Executive Session for the purposes of seeking confidential legal advice from the City Attorney on any item on the agenda at any time during the meeting.**

**The City of Duncanville and Planning and Zoning Commission reserves the right to reconvene, recess or align the Regular Session or called Executive Session or order of business at any time prior to adjournment.**

**Persons may participate by live broadcast via Swagit. To view the live meeting or previous meetings click on the following link: <https://duncanvilletx.new.swagit.com/views/454/>**

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### **(6:30 P.M. BRIEFING)**

### **(7:00 P.M.) PLANNING AND ZONING COMMISSION MEETING**

#### **1. Call to order and confirm a quorum**

#### **2. Appointment of a new Chair and Vice Chair**

#### **3. Public Comment**

Receive Public Comments on items not listed on the agenda, limit 2-minutes per individual speaker.

To submit a comment via email and for your comments to be read, the following information is required:

- Submit a comment by 4:00 p.m. on Monday, December 8, 2025.
- Email [planningandzoning@duncanvilletx.gov](mailto:planningandzoning@duncanvilletx.gov)
- Email Title: Public Comment – December 8, 2025.
- First and Last Name and address.

The Board Secretary will still set a two-minute time limit on the comments as they are read.

#### **4. Agenda Item**

- A.** Consider approval of the revised minutes from the Planning and Zoning Commission Meetings held on August 11, 2025 and the meeting held November 10, 2025.
- B.** Consider approval to amend the comprehensive zoning ordinance by amending the Code of Ordinances by repealing, Chapter 2, "Administration". Article I, "In General", Section 2-2(a), "City Planning and Zoning Commission" in its entirety to add two (2) alternate Planning and Zoning Commission members.

## 5. Planning and Zoning Commission Action Items/Public Hearing

**A. PLAT-2025-00004:** Request from Duncanville Independent School District (owner) and Edward Chadwick (applicant/agent) on real property located at 900 W. Camp Wisdom Road, **legally described as Lot 1, Block 1 of Duncanville High School Addition on 61.795 acres in the City of Duncanville, Dallas County, Texas.**

1. Staff summary
2. Applicant presentation
3. Public hearing
4. Discuss, consider, and take any necessary action

**B. ZONE-2025-00001:** Request from Roland Ako (owner and applicant) to amend an existing Specific Use Permit (SUP) site plan for a drive-thru on real property located at 102 E. Danieldale Road, 1.170 acres, **legally described as Hopco Wedge Tract 1, City of Duncanville, Dallas County, Texas.**

1. Staff summary
2. Applicant presentation
3. Public hearing
4. Discuss, consider, and take any necessary action

**C. ZONE-2025-00018:** Request from Costco Wholesale (owner) and David Kopczynski (agent) for a Specific Use Permit (SUP) to allow for accessory and incidental fuel pumps on real property located at 250 W. Highway 67, **legally described as Lot 2, Block A of Three Corners Addition on 16.46 acres to the City of Dallas, Dallas County, Texas.**

1. Staff summary
2. Applicant presentation
3. Public hearing
4. Discuss, consider, and take any necessary action

## 6. Adjournment

I, the undersigned authority, do hereby certify that this Notice of Meeting was posted in accordance with the regulations of the Texas Open Meetings Act on the bulletin board located at the entrance to the City of Duncanville City Hall, a place convenient and readily accessible to the general public, as well as to the City's website [www.duncanvilletx.gov](http://www.duncanvilletx.gov) and said Notice was posted by the following date and time: **Tuesday, December 2, 2025, by 6:30 p.m.** and remained posted for at least two hours after said meeting was convened.

*Desiree' Powell*

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Desiree' Powell, City Planner

**PLANNING AND ZONING COMMISSION  
REGULAR MEETING  
DUNCANVILLE COUNCIL CHAMBERS  
203 EAST WHEATLAND ROAD  
MONDAY, AUGUST 11, 2025, 7:00 P.M.**

Erika Browning, Interim Chair	Present	
D. Bailey Wynne	Present	
Brenda O'Brien	Present	
Stephanie Champagne	Present	
Jarred Davis	Present	
Izaiah Salazar	Present	

**Staff:**

Mark Rauscher, Assistant City Manager  
Brennan Kane, Olsson (Planning Consultant)  
Chiquita Taylor, City Secretary  
Catessa Malone, City Attorney

**Item No. 1**

**Call to Order and confirm a quorum.**

Interim Chair Browning called the meeting to order at 7:01 p.m.

**Item No. 2**

**Consent Agenda.**

All items under consent agenda are considered to be routine by the planning and zoning commission and will be enacted by one motion. There will not be separate discussion of these items. If discussion is desired, that item will be removed from the consent agenda and will be considered separately.

- A. Discuss, consider, and take any necessary action regarding approval of minutes of the Planning and Zoning Commission Meeting held on June 9, 2025.

Interim Chair Browning noted to revise minutes to correct her name being misspelled and correction of a typo from “improve” to “approve”. Interim Chair Browning made motion to approve minutes with amendments; Commissioner O’Brien seconded motion.

Motion passed. 6 – in favor; 0 - against

**Item No. 3**

**Public Comments.**

There were no public comments received on items not listed on the agenda.

#### **Item No. 4**

##### **Draft Comprehensive Plan Update**

Matt Horn presented comprehensive plan of recommendations from steering committee along with a general overview of feedback from the community engagement workshops conducted. He also provided an overview of the plan's development process, the selection of MRB Group to provide a comprehensive plan and economic strategy along with the formation of the steering committee. Matt also provided overview of the importance of an updated comprehensive plan as city continues to grow. He highlighted the key elements of attracting investment, fostering local businesses, foster better relationships for development to encourage more commercial access, providing quality infill housing development, and fiscal responsibility related to city funds.

Commissioner Davis – asked to hold item #4 to discuss questions and feedback to the end of the meeting due to number of items on agenda. Made a motion to move item #4 to end of the agenda after item #6.C. Commissioner O'Brien – seconded motion.

Motion passes. 6 – in favor; 0 – against.

#### **Item No. 5**

##### **Planning and Zoning Commission Action Items/Public Hearings**

- A. **Case #2025-00008:** Request of Elizabeth Arcos (applicant) for a Specific Use Permit (SUP) to allow for the use of "Animal Services", on Block 8 & Part of Block 7, 3.347 acres, more commonly known as **202 W. Center Street, City of Duncanville, Dallas County, Texas.**

Brennan Kane (Olsson) presented staff report. Stated the proposed use would align with the Future Land Use plan for downtown. Mr. Kane stated 33 mailings were sent out and that there no feedback received in favor or in opposition of proposed use.

Commissioner Davis – asked if staff has made a recommendation for the duration of the SUP.

Brennan Kane – stated that staff had not made any duration recommendations for the SUP and that the time period is typically only applied to SUP unless there are significant changes to the property or incidental uses.

Commissioner Wynne – asked about similar business (dog washing) already located on Main Street and how far the proposed use would be from the existing dog wash business. Mr. Kane stated that the distance had not been measured between the existing dog wash business and the proposed use.

Commissioner Davis requested verification of Commissioner Wynne's question about the location/address of the existing dog wash business in relation to the proposed new business is. Commissioner Salazar stated the existing dog wash business is located about two blocks away and verified the current operations of said business is self-service.

Applicant, Ms. Arcos and her translator (Sylvia) present. Applicant stated she is aware of existing similar business but stated her business will be offering more dog washing services like grooming and boarding overnight.

Commissioner Wynne asked if an existing business being is the same business or person on Main Street. Applicant stated she is renting space at the business on Main Street but that she only does grooming there and that is the reason she wants to expand.

Chair Browning asked for motion to open the public hearing. Commissioner Davis made motion to open the public hearing; Commissioner Wynne seconded.

No public comments. Interim Chair Browning asked for motion to close the public hearing. Motion made by Commissioner Davis; Commissioner Wynne seconded. (6 – favor; 0 – against)

Commissioner Davis made motion to approve application with a period of five (5) years. Interim Chair Browning asked to add a modification to complete the application before approval; Commissioner Davis asked to withdraw his motion if the application is not completed.

Commissioner Davis deferred to Mr. Kane on guidance of request. Mr. Kane confirmed the application will be reviewed for completion.

Commissioner Davis revised his motion to table the item to the next scheduled Planning and Zoning meeting to complete the application as needed; Commissioner Salazar asked about the modification to complete the application within 24 hours can be added to not hold up applicant any longer. Commissioner O'Brien seconded motion.

Mr. Kane stated the application could be signed before going before City Council and that the applicant has been working on this for a couple of months. Commissioner Davis stated his motion would remain the same.

Motion to table passed. 4 – in favor; 2 – against.

- B. **Case #2025-00009:** Request of Brian Neal (owner) and James Cartwright (agent) for a Zoning Change from Local Office/Retail (LOR) district to a Single Family Residential (SF-13) district, on Eckerd Griffith Green, Lot 2, 1.0844 acres, more commonly known as **810 W. Wheatland Road, City of Duncanville, Dallas County, Texas.**

Brennan Kane presented staff report. Mr. Kane stated the purpose of the application due to the current assessment of the property as commercial. 13 mailings were sent out there were no comments in favor or in opposition. Mr. Kane stated staff's recommendation is for the Planning and Zoning Commission to determine the zoning of the property based on what is presented.

Commissioner Davis asked if the property currently has a SUP. Mr. Kane stated there is not a SUP but that there is a single-family home currently on the property.

Commissioner Davis also asked how the property became commercially zoned; Mr. Kane stated staff did not find any information about how the property became commercial but that it is likely that it changed once a land use chart was adopted.

Applicant, Mr. Brian Neal and agent, James Cartwright (property tax consultant) were present. Mr. Cartright stated Mr. Neal purchased the property in 2005 and it was zoned commercial then. Mr. Cartright that the property has been assessed at the commercial rate instead of a residential rate. The existing home was there when Mr. Neal purchased it.

Commissioner Davis noted that the commission cannot take any financial considerations into play regarding their decision and to speak to the land uses of the property. Commissioner Davis asked if there is an alleyway between the proposed alley and the CVS. Mr. Neal noted that there isn't an alley but there is a paved drive between both properties.

Commissioner Salazar asked how the property was zoned when the property was purchased. Mr. Cartright stated this is correct.

Interim Chair Browning opened the public hearing. Commissioner Davis made motion to open public hearing; Commissioner O'Brien seconded. (6 – favor; 0 – against)

No public comments. Commissioner Davis made motion to close the public hearing; 2<sup>nd</sup> by Commissioner Wynne. (6 – favor; 0 – against)

Commissioner Davis made motion to approve the zoning change; 2<sup>nd</sup> by Commissioner O'Brien. Commissioner Davis made note about the improved alley showing the delineation from commercial to residential supporting that the residential uses existed before the commercial zoning was adopted.

Motion passed. 6 – favor; 0 – against

- C. **Case #2025-00010:** Request of Briana Baugh (applicant) and Martha Fermin (owner) for a Zoning Change from Neighborhood Office/Retail (NOR) to a Downtown District (DD), Urban Living (UL), on Block 1, Part of Lot 15 of Original Town Duncanville, an addition to the City of Duncanville, more commonly known as **314 N. Hastings Street, City of Duncanville, Dallas County, Texas.**

Mr. Kane presented staff report and that the proposed use is to build a duplex which is in alignment with the comprehensive plan. Mr. Kane also stated the proposed zoning district recommended by staff is alignment with the future land use plan for townhomes. 24 mailings were sent out with no letters in support or against. Staff recommendation was for approval. Commissioner Davis asked staff if there are design standards for the downtown area. Mr. Kane confirmed that there are existing design standards which the development would have to abide by. He also stated that the current design standards relate to commercial/mixed- use development. Interim Chair Browning asked if there was a single-family home existing on the property next door.

Applicant, Briana Baugh, spoke on behalf of the proposed zoning change. Commissioner Davis asked what currently exists on the property. Ms. Baugh verified there is a 400 square feet building that has commercial tenants; Commissioner Davis asked if they were planning to demolish current building. Ms. Baugh confirmed the demolition and that the proposed units would face the rear side. Commissioner Wynne asked about the size of proposed duplex; Ms. Baugh stated they will be 2-story ranging from 1,200-1,400 square feet. Commissioner Salazar asked about an existing driveway and if it will remain. Ms. Baugh stated they will keep driveway if the commission and staff prefers.

Commissioner Davis made motion to open the public hearing; 2<sup>nd</sup> by Commissioner Wynne. (6 – favor; 0 – against) No public comments. Commissioner Davis made motion to close the public hearing; 2<sup>nd</sup> by Commissioner Wynne. (6 – favor; 0 – against)

Interim Chair Browning made the motion to approve zoning change, 2<sup>nd</sup> by Commissioner Davis.

Commissioner O'Brien stated her concerns that no renderings were provided, in which, Chair Browning noted that they may not be in the purview of the commission. Mr. Kane the elevations and site plan would not be for planning commission review.

Commissioner O'Brien reiterated her concern about the layout of the units and how they will fit. Mr. Kane verified that there aren't any design standards for residential development but that the applicant has been made aware of the type of design staff would like to see.

Commissioner Davis asked for an explanation of the Development Review Committee (DRC) and what they review related to building. Mr. Kane confirmed. Commissioner Salazar made comments about concerns of approval without seeing design of units. Motion passed. 6 – favor; 0 – against

- D. **Case #2025-00015:** Request of Alma M. Cartwright (applicant and owner) for a Zoning Change from Planned Development (PD) to Duplex Residential District (TF-7) on land conveyed to the City of Duncanville in the A.M.G. Merrill Survey, Abstract No. 884, more commonly known as **400 E. Center Street, City of Duncanville, Dallas County, Texas.**

Mr. Kane presented staff report that proposal is to change the zoning from a Planned Development (PD) to a townhome district to develop a duplex. 23 mailing sent out with no response for or against. Mr. Kane stated staff's recommendation is denial as the proposed change would not be in alignment with the current future land use plan and against state law to spot zone. Mr. Kane noted that the denial is based on it being a "spot zoning" situation as the surrounding properties are single-family and the comprehensive plan. Mr. Kane stated that staff recommends a possible rezoning to align with downtown uses.

Interim Chair Browning asked why the case was brought before the commission if the proposed zoning change is violating state law. Mr. Kane stated residents still have the right to apply for zoning changes. Commissioner Davis asked Ms. Malone (city attorney) to define "spot zoning"; Ms. Malone stated she would research the matter and provide feedback. Commissioner Davis asked Mr. Kane how the zoning change is being denied based on spot zoning if the surrounding uses are single family, which is a type of residential. Mr. Kane referenced state local government code in why staff recommended denial due to the zoning change not being compatible with the surrounding area.

Applicant, James Cartwright, present to speak on property's behalf. He stated that the current issue with using the property as commercial is the lack of required parking by the city of Duncanville for commercial uses. Mr. Cartwright noted that the property has been vacant since 2020 and spoke with surrounding neighbors to ask if they would support a duplex being developed opposed to commercial use. He also mentioned that the property was once utilized as an office and duplex or a commercial duplex.

Commissioner Davis asked the applicant if there any other uses allowed in the existing Planned Development (PD) and when the PD was adopted. He asked if any uses had been used under the NOR (Neighborhood Office Retail) designation. Mr. Cartwright noted that the property was used as a church previously.

Interim Chair Browning made motion to open the public hearing. 6 in favor, 0 – against. Public comment from Lois Varenkamp (owner – 403 E. Center Street, Duncanville, Texas) asked if the PD zoning was a spot zoning since it did not align with the surrounding area. She also noted that she has lived in her home since 2018 and that proposed property has been vacant but has always appeared to be a duplex or a small office (doctor's office) in passing by. Interim Chair Browning stated that the commission could not answer her question.

Interim Chair Browning made motion to close the public hearing. 6 – in favor, 0 – against. Commissioner O'Brien asked about the legality of the zoning change regarding the spot zoning. Mr. Kane stated that the determination would need a legal opinion to clarify the spot zoning instance with the city attorney. Interim Chair Browning asked if the item could be tabled until legal information regarding spot zoning was researched. Commissioner Davis commented for staff to consider an executive session or work session to discuss any legal concerns/issues before presenting items at the public hearing.

Commissioner Davis made motion to table item #5D until further legal information is obtained, 2<sup>nd</sup> by Interim Chair Browning. 6 – in favor; 0 – against.

- E. **Case #2025-00016:** Request of Omar Maretinez (applicant) for a Specific Use Permit (SUP) to allow for the use of "Auto Dealership, Used Only" on Lot 9, Block 2 of Woodhaven Addition, an addition to the City of Duncanville, more commonly known as **510 E. Red Bird Lane, City of Duncanville, Dallas County, Texas.**

Mr. Kane presented staff report and purpose of the request. He stated that the future land use map designates this area as 'Retail/Commercial' and the current zoning is Commercial. The zoning district requires a Specific Use Permit (SUP) to operate an automotive use. Mr. Kane noted that the property does back up to residential property and is currently vacant. He also stated the applicant plans to construct a 400 square foot building and only sell used cars at the property. Staff mailed out 16 notices and did not receive any responses in support or in opposition. Mr. Kane stated that staff recommend approval with conditions and that staff had not received a full site plan yet.

Commissioner Davis asked if a site plan is required for submission before going to city council. Mr. Kane noted the site plan submission is not required.

Oscar Martinez (son of applicant, Omar Martinez) spoke on behalf of application. Commissioner Davis asked the applicant is planning to have lights at the property. Mr. Martinez confirmed that they will. Commissioner Wynne asked if the applicant operates a similar business anywhere in Duncanville; Mr. Martinez stated that they do not, but they do operate in the city of Dallas. Commissioner O'Brien asked if the proposed business is backing up to home and if an alley currently exists. Mr. Martinez confirmed there is. Additionally, Commissioner O'Brien asked what other businesses exist on the surrounding properties. Mr. Martinez noted there is a tire shop, some other auto-related businesses, vacant lots, and another auto dealership. Interim Chair Browning asked staff what the property's current zoning is. Mr. Kane stated it is commercial.

Interim Chair Browning made motion to open the public hearing, 2<sup>nd</sup> by Commissioner Davis (6 – in favor, 0 – against). No public comment. Interim Chair Browning made motion to close the public hearing, 2<sup>nd</sup> by Commissioner Davis. Commissioner Wynne made motion to approve SUP

request with a 10-year timeframe (suggested modification by Commissioner Davis), 2<sup>nd</sup> by Commissioner Davis. 6 – in favor, 0 – against.

- F. Public hearing to hear public concerns pertaining to Moore Supply located on Crestview, Block C, Lot 20R, 0.09677 acres, 3A, more commonly known as **626 Crestside Drive, City of Duncanville, Dallas County, Texas.**

Mr. Kane presented staff report and purpose of request based on concerns of surrounding property owners regarding current business operations. Mr. Kane noted that a new building has been recently built with new owners. This request was preempted by city council and the city attorney to hold a public hearing for surrounding property owners and the current business owner of Moore Supply to speak on behalf of the current business operations. Mr. Kane stated there is no action to be taken by the commission. Mr. Kane also stated there is a current Specific Use Permit (SUP) in place at the property. He noted that all public comments will be forwarded to city council and be considered in the possible request of adding restrictions or making changes to the current SUP.

### **Comments**

Interim Chair Browning asked Mr. Kane about where the notices were mailed to in relation to the surrounding properties. Mr. Kane confirmed that staff mailed out notices to the physical address on file. Commissioner O'Brien asked how long the SUP was granted for; Mr. Kane stated he did not believe there was time limit. Commissioner Davis also asked when the SUP was adopted along with if there were any stipulations in place for the use. Mr. Kane noted he did not see any specific restrictions and that the SUP was approved in 2024. Interim Chair Browning made motion to open public hearing, 2<sup>nd</sup> by Commissioner Champagne (6 – in favor, 0 – against).

Applicant present, Corey (didn't catch last name), operator of Moore Supply. Stated that he walked the block to ask who was in favor or opposition as he received positive feedback from surrounding neighbors. He stated the businesses operating hours and how much revenue they produce along with noting that they do not operate overnight or have idling trucks. Commissioner Wynne asked about the complaint and conversations with the neighbor who made the complaint. She also asked if their building is accessible overnight; the applicant stated the area is completely gated so it is not accessible. Commissioner Salazar also asked how many trucks come overnight; the applicant confirmed five 18-wheelers come in every day and that they have a designated area for truck drop off. Additionally, Commissioner Salazar asked where they received supplies from along with their receiving hours; the applicant stated their business is plumbing wholesale company that does not have trucks typically idling during the receiving hours.

### **Public Comment**

Ana (did not catch first name clearly) Rodriguez at 615 Crestside Drive and is the property owner that lives right across the street from Moore Supply. Mrs. Rodriguez has made complaints about the hours of the day during construction and that during construction Moore Supply damaged a pipe that caused a water issue at her home which she had to pay \$3,000 to resolve. She also stated that Moore Supply has not reached out to her or made any contact to

rectify the issue. Additionally, she noted that Moore Supply does have 18-wheelers that park in front of her home and that they do have trucks idling in front of her home. Commissioner Davis asked how long Moore Supply has been in operation in the area; Mrs. Rodriguez noted that the lot had been vacant prior to the construction of their new building. She also mentioned that she was disappointed in how the city handled the issue along with Moore Supply's inconsideration to them as a good neighbor.

Sonya Culbert, 620 Crestside Drive, is the property manager of the property along with the tenant leasing the space. She stated that they have not had any issues with Moore Supply impacting their operations. Commissioner Davis asked if both businesses ever shared a driveway; Ms. Culbert confirmed this to be true. Commissioner Wynne followed up to confirm if they lived at that property or operated a business there; Ms. Culbert confirmed it is a business that she has been managing for 15+ years. Commissioner Wynne also asked if they are ever there when Moore Supply is closed. Tenant of 620 Crestside (Adrian Jackson) stated his business is accessible 24 hours but they are not there 24 hours, but they are typically there when Moore Supply is also there. Mr. Jackson also noted that his business has been operating for four years and that he has not had any issues with Moore Supply. He did note that the owner of the property in front of him has been complaining since he opened his business.

Commissioner Salazar asked Mr. Jackson about the complaints made against his business; Mr. Jackson stated that the neighbor would call about various minor issues. He also stated that the area is mostly businesses and that he was not aware of the truck parking concerns.

Commissioner O'Brien asked if Mr. Jackson has ever seen large trucks parked on the street, in which, Mr. Jackson noted that the street is narrow and it is challenging to pass for all vehicle types. Ms. Culbert also added that there is a roofing company who also has 18-wheelers bringing in material on the same street and confirmed the company she works for did receive the public notice.

Interim Chair Browning made motion to close public hearing, 2<sup>nd</sup> by Commissioner Wynne. Assistant City Manager, Mark Rauscher, reaffirmed the purpose of the request regarding public concerns of the business operations and to ensure the comments were on the record. Commissioner Davis asked Mr. Rauscher if the comments presented are forwarded to city council would this item possibly come back to the Planning and Zoning commission. Mr. Rauscher confirmed that the item could come back based on recommendations from city staff and city council to better address the major concerns posed by surrounding residents. Additionally, Commissioner Davis asked what the process would be if the Planning and Zoning Commission wanted to reopen an SUP in general; Mr. Rauscher stated that the commission could request this from city staff if concerns are presented.

## **Item No. 6**

### **Plats**

- A. Request of Centro Familiar Cristiano De Dallas (owner and applicant) for approval of a replat, Lots 7A, 7B, and 7C, Block 5/6948 Centro Familiar Cristiano Addition, more commonly known as **718 Cavan Road, City of Duncanville, Dallas County, Texas.**

Mr. Kane presented the staff report along with the purpose of the preliminary plat and the current zoning. Mr. Kane stated the purpose of this separation is to create three lots for residential use and the minimum lot development standards. Staff recommends approval. Commissioner O'Brien asked if the surrounding area is residential to which Mr. Kane confirmed.

Interim Chair Browning made motion to approve, 2<sup>nd</sup> by Commissioner O'Brien. Item is approved. 6 – in favor, 0 – against.

- B. Request of Pascal Mike Aghyarian (applicant) for approval of a replat of Lot 13 and portions of Lot 14 and 15, Block 3 of Woodhaven Addition to Lot 13R, Block 3 of Woodhaven Addition, more commonly known as **214 E. Red Bird Lane, City of Duncanville, Dallas County, Texas.**

Mr. Kane presented the staff report with the purpose of the replat to join two lots into one and the current zoning. There is an existing business and the replat is aimed at cleaning up the lot lines along with improving fire safety purposes. Staff recommends approval. Interim Chair Browning asked what the nature of the business is; Mr. Kane stated it is an automotive use but was unsure of the exact operations. Interim Chair Browning made motion to approve, 2<sup>nd</sup> by Commissioner O'Brien. Item passes. 6 – in favor, 0 – against.

- C. Request of April Ross with Burns Surveying (applicant) and James and Alfreda Coffey (owner) for approval of a repat of Lots 1 & 2, Block 35 of Irwin Keasler Development, Red Bird Addition, Unit No. 5, Plat Book 19, Page 257 to Lot 1-A, Block 25, Irwin Keasler Development, Red Bird Addition, Unit No. 5, more commonly known as **623 Jellison Boulevard & 627 Jungle Road, City of Duncanville, Dallas County, Texas.**

Mr. Kane presented the staff report with the purpose of the replat, the current zoning (SF-10), and the future land map designation. Mr. Kane stated that one of the lots has an existing home on it and the intention is to expand size of lot. Staff recommends approval.

Commissioner O'Brien asked about the nature of the replat request and if the owner plans to build another home; Mr. Kane clarified that only one home can be constructed on the lot. Commissioner Wynne also asked how big the lot is; Mr. Kane confirmed the lot size is 35,000 square feet. Interim Chair Browning made motion to approve, 2<sup>nd</sup> by Commissioner Davis. Item passes. 6 – in favor, 0 – against.

#### **Item No. 4**

##### **Draft Comprehensive Plan Update**

Interim Chair Browning brought back the discussion of Item 4 regarding the comprehensive plan questions and feedback. She also asked if public comments received at the Field House were incorporated into the recommendations made to city council, Mr. Horn noted they had not added those comments in yet. Commissioner Davis commented that the comments made during the public hearing were more related to more workforce opportunities, but that aspect of the comprehensive may be beyond the purview of the planning commission. Mr. Horn confirmed this is something that will be discussed further with DCEDC and other interested parties.

Commissioner O'Brien asked about the stability of the police force and how it relates to the mentioned workforce opportunities. Mr. Horn confirmed that his team did meet with the chief of police and the fire chief to ensure this is taken into consideration within the plan. He also noted that the comprehensive plan may not likely cover all these things in detail but that the plan speaks to fiscal responsibility to create guiding principles to retain/attract workforce opportunities. Mr. Rauscher also confirmed that the city manager's office is working to retain and compete with surrounding cities for salary of police/fire staff. Commissioner O'Brien also commented on the appearance of the current police building and how it looks. Mr. Rauscher stated that the city manager's office is asking for a bond proposal to update the police facilities. Interim Chair Browning commented about the neighborhoods section in relation to better understanding and addressing zoning issues by way of comprehensive plan. Mr. Horn noted that the comprehensive plan is the beginning of land use reconciliation with current zoning challenges and how land use regulation should move forward.

Commissioner Wynne also commented about the current regulations and making sure they are in alignment with current challenges property owners are facing around zoning and land use.

Commissioner Wynne stated that the item be tabled since the presentation had to be split in two and she did not feel she had enough information to make a decision. Commissioner Salazar asked what are the corridors in Duncanville; Mr. Horn confirmed there is language speaking to these areas and what improvements should reflect. Mr. Horn also noted that the comprehensive plan begins the process of how these improvements should be handled but recognizing that city resources are not unlimited so prioritizing certain areas is the first step in doing so. Commissioner Salazar commented about branding the city and Mr. Rauscher noted there is a wayfinding program through the city's economic development department coming to fruition in the city. Commissioner Salazar asked about existing residents that cannot afford landscape updates to which Mr. Rauscher stated there is an existing program that helps residents do this currently.

Commissioner Wynne made motion to table item, 2<sup>nd</sup> by Commissioner O'Brien.  
Motion passes. 4 – in favor; 1 – against.

**Adjournment**

Interim Chair Browning adjourned meeting at 10:12 p.m.

**PLANNING AND ZONING COMMISSION  
REGULAR MEETING  
DUNCANVILLE COUNCIL CHAMBERS  
203 EAST WHEATLAND ROAD  
MONDAY, NOVEMBER 10, 2025, 7:00 P.M.**

Erika Browning, Interim Chair	Absent	
D. Bailey Wynne	Present	
Brenda O'Brien	Present	
Stephanie Champagne	Present	
Jarred Davis	Present	Late
Izaiah Salazar	Present	
Elias Rodriquez	Absent	No longer on P & Z

**Staff:**

LaSheyla Jones, Assistant Director Planning and Zoning  
Desiree' Powell, City Planner  
Catessa Malone, City Attorney

**Item No. 1**

**Call to Order and confirm a quorum.**

Commissioner Wynne called the meeting to order at 7:03 p.m.

**Item No. 2**

**Appointment for New Chair and Vice Chair**

Desirée Powell advised that the appointment of a new Chair and Vice Chair must be conducted publicly and confirmed that the Commission could proceed with a vote. Catessa confirmed the process but noted that not all members were present.

Action:

Motion: Commissioner Salazar moved to table the appointment of the Chair and Vice Chair to the next meeting so that all members could be present.

Second: Commissioner O'Brien.

**Vote – Roll Call:**

- Commissioner Champagne – Approve
- Commissioner Salazar – Approve
- Commissioner Wynne – Approve
- Commissioner O'Brien – Approve

**Motion to table item was Approved; 4–0.**

### **Item No. 3**

#### **Public Comments.**

No public comments.

### **Item No. 4**

#### **Approval of minutes from Planning and Zoning Commission Meetings held on August 11, 2025, and September 8, 2025**

Commissioner Wynne asked for any corrections to the minutes. Commissioner Wynne noted a correction on Item 5 of the August 11 meeting minutes: the applicant stated she would not be offering overnight boarding, contrary to what was written. Commissioner Salazar confirmed this correction.

#### **Action**

Motion: Commissioner Salazar moved to approve the minutes with the noted amendment.

Second: Commissioner O'Brien.

#### **Vote – Roll Call:**

- Commissioner Champagne – Approve
- Commissioner Salazar – Approve
- Commissioner Wynne – Approve
- Commissioner O'Brien – Approve

**Motion to Approve minutes pending the stated correction passed; 4–0.**

### **Item No. 5**

- A. **PLAT-2025-00002: Request from Shane Nandlal, applicant and owner, to combine two (2) lots into one (1) lot on real property located at 403 W. Danieldale Road, legally described as James Anderson Survey, Abstract 17, Tract 62.2 on 1.75 acres in the City of Duncanville, Dallas County, Texas.**

#### **Staff Presentation:**

Desireé Powell stated that the purpose of the replat is to combine two tracts located at 403 E. Danieldale Road (to be renumbered 403 W. Danieldale Road) to allow the applicant to acquire a small city-owned parcel for driveway access. The city-owned property is currently being sold to the applicant through the City's Economic Development Department. Seventeen (17) notices were mailed: 0 in support and 1 in opposition. Staff recommended approval of the replat, pending completion of the purchase transaction.

#### **Comments:**

Commissioner Wynne asked whether the Traditional Neighborhood designation connects to any changes in the Comprehensive Plan. Staff clarified that the zoning remains Planned Development 888 (PD-888), and the request only reconfigures lot lines; it does not change zoning or permitted uses. Commissioner Salazar asked about access needs, the reason for the original city ownership of the parcel, and potential transitions between commercial and residential uses. Staff noted the parcel lies near the Ten Mile Creek floodplain, buffering standards will be enforced at the site-plan stage, and conditions cannot be applied to a plat. Commissioner Davis requested clarification about permitted uses, administrative requirements, and whether future zoning actions would return to the Commission. Staff confirmed that

the replat must be approved if it meets technical requirements and that any non-allowed uses would require a zoning case.

Motion: Commissioner Wynne to open public hearing.

Second: Commissioner Salazar opened public hearing

Public Comments:

1. Rex Marchan, 318 Swan Ridge Place – Opposed. Raised concerns about increased commercial development across the creek, loss of trees, traffic impacts near Village Tech, and asked when and how the parcel was offered for sale.
2. Alva Trevino, 1443 Birdwood Circle – Opposed. Trevino stated that brush clearing increased noise and visibility from Danieldale Rd., impacting privacy and safety. Expressed traffic concerns.
3. Millie Moran, 314 Swan Ridge Place – Opposed. Cited existing infrastructure issues, loss of privacy, concerns about future construction, safety of children in the creek area, and potential for increased unwanted activity.

No other speakers came forward.

Motion: Commissioner Wynne to close public hearing

Second: Commissioner Davis closed public hearing

Commission Discussion:

Commissioners discussed neighborhood concerns, the plats compliance with PD-888 and Local Office Retail (LOR) development standards, and limitations imposed by the 30-day state-mandated plat approval window. Staff reiterated that plats may not be denied for reasons outside technical conformity and that traffic considerations apply at zoning or site-plan stages, not at replat.

Action:

Motion: Commissioner Davis moved to approve Item 5A.

Second: Commissioner Salazar.

Commissioner Davis clarified that although the commission acknowledges neighborhood concerns, the replat meets all applicable legal and technical requirements, and the Commission is obligated under state law to act within the administrative framework for plats.

**Vote – Roll Call:**

- Commissioner Champagne – Approve
- Commissioner Salazar – Approve
- Commissioner Davis – Approve
- Commissioner Wynne – Approve
- Commissioner O’Brien – Approve

**Motion to Approve passed; 5–0.**

- B. **PLAT-2025-00003:** Request from Joy Triplett, applicant/representative, to divide one (1) lot into four (4) lots on real property located at 1207 N. Duncanville Road, **legally described as Lot 19, Block F of the Irwin Keasler Development Red Bird Addition No. 1 on 1.203 acres to the City of Duncanville, Dallas County, Texas.**

Staff Presentation:

Desireé Powell presented a request to subdivide one (1) existing lot into four (4) single-family residential lots located at 1207 N. Duncanville Road. The property is zoned SF-10 with a Traditional Neighborhood future land use designation. Twenty-three (23) notices were mailed: 1 in support and 0 in opposition. Staff recommended approval.

Commission Discussion:

Commissioner Champagne confirmed that all four lots would be limited to single-family residential use. Staff affirmed. Commissioner Davis asked whether the proposed lots meet current minimum development standards and setbacks. Staff confirmed that all four lots conform to today's requirements, noting that the original subdivision predates current standards, resulting in new lots that will be larger and meet updated setback requirements.

Motion: Commissioner Wynne to open public hearing

Second: Commissioner Salazar opened public hearing

Public Comments:

1. Rex Marchan, 318 Swan Ridge Place – Asked whether the applicant owns all portions of the property. Staff confirmed the applicant currently owns the entire tract.
2. Christian V., 1443 Birdwood Circle – Asked about erosion control measures. Commissioner Davis clarified that erosion considerations occur during the building-permit stage, and the applicant must meet all applicable standards at that time. Comments are related to case at 403 W. Daniieldale (PLAT-2025-00002).

No other speakers came forward.

Motion: Commissioner Davis to close public hearing

Second: Commissioner O'Brien closed public hearing

Action:

Motion: Commissioner Davis moved to approve Item 5b.

Second: Commissioner Brenda O'Brien.

**Vote – Roll Call:**

- Commissioner Champagne – Approve
- Commissioner Salazar – Approve
- Commissioner Davis – Approve
- Commissioner Wynne – Approve
- Commissioner O'Brien – Approve

**Motion to Approve passed; 5–0**

- C. **PLAT-2025-00009:** Request from John Rodriguez and Adriana Fajardo (owners) and Michael Kersten (applicant/agent) to create two (2) lots on real property located at 202 Roma Drive, **legally described as Duncanville Estates No. 2, Block E, Lots 44 & 45 on 0.504 acres in the City of Duncanville, Dallas County, Texas.**

Staff Presentation:

Desireé Powell presented a request to replat property at 202 Roma Drive into two (2) lots, legally described as Duncanville Estates No. 2, Block E, Lots 44 & 45. The property is zoned SF-10 with a

Traditional Neighborhood future land use designation. Any newly created lots must meet current development standards. Twenty-three (23) notices were mailed: 1 in support, 0 in opposition. Staff recommended denial because proposed Lot 45R does not meet current minimum lot standards.

**Commission Discussion:**

Commissioner Wynne asked whether the applicants were present; staff confirmed the surveyor was present. Applicant's representative Michael Kersten explained that the owners wish to incorporate a triangular portion of Lot 45 into Lot 44 to match existing use patterns. Commissioner O'Brien asked whether lot size could be grandfathered. Staff clarified that because two new lots would be created, both must meet current standards and cannot be grandfathered.

Motion: Commissioner Davis to open public hearing  
Second: Commissioner O'Brien opened public hearing

**Public Comments:**

1. Alpha (Property owner) (202 Roma Drive) – Stated she has lived at the property for 20 years and intends to remain. The request is intended to allow development of a single-family home for her adult children and keep the property within the family.

Motion: Commissioner Davis to close public hearing  
Second: Commissioner O'Brien closed public hearing

**Commission Discussion:**

Commissioner O'Brien noted that although she understood the applicant's intent, the proposed plat does not meet ordinance requirements. Commissioner Davis stated that replats must conform to existing lot patterns and minimum standards; the proposed configuration does not, which requires denial.

**Action:**

Motion: Commissioner Davis moved to deny Item 5C.  
Second: Commissioner Salazar.

**Vote – Roll Call:**

- Commissioner Champagne – Deny
- Commissioner Salazar – Deny
- Commissioner Davis – Deny
- Commissioner Wynne – Deny
- Commissioner O'Brien – Deny

**Motion to deny passed; 5–0.**

**Adjournment**

Motion to adjourn: Commissioner Davis  
Second: Commissioner O'Brien  
Meeting adjourned at 8:07 p.m.

**ORDINANCE NO. \_\_\_\_**

**AN ORDINANCE OF THE CITY OF DUNCANVILLE, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE, AS HERETOFORE AMENDED, BY AMENDING THE CODE OF ORDINANCES BY REPEALING, CHAPTER 2, “ADMINISTRATION”, ARTICLE I, “IN GENERAL”, SECTION 2-2(a), “CITY PLANNING AND ZONING COMMISSION” IN ITS ENTIRETY; AND, REPEALING APPENDIX A, “ZONING ORDINANCE”, ARTICLE V, “DEVELOPMENT REVIEW BODIES”, SECTION 5.02(A), “ESTABLISHMENT”, AND REPLACING WITH NEW APPENDIX A, “ZONING ORDINANCE”, ARTICLE V, “DEVELOPMENT REVIEW BODIES”, SECTION 5.02(A), “ESTABLISHMENT”; PROVIDING A REPEALING CLAUSE; PROVIDING A SEVERABILITY CLAUSE; AND, PROVIDING AN EFFECTIVE DATE.**

**WHEREAS**, the Planning and Zoning Commission and City Council of the City of Duncanville, in compliance with state laws with reference to amending the Code of Ordinances by amending Appendix A, Article 5, Section 5.02(A), the Comprehensive Zoning Ordinance, to allow five regular members and two alternate members to serve on the City of Duncanville Planning and Zoning Commission.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF DUNCANVILLE, TEXAS:**

**SECTION 1.** That the City of Duncanville Code of Ordinances be, and the same is, hereby amended by amending Chapter 2, “Administration”, Article I, “In General”, Section 2-2, “City planning and zoning commission”, by repealing Section 2-2(a) in its entirety, including amendments thereto, to hereafter read as follows:

**“Chapter 2 – ADMINISTRATION**

**ARTICLE I.- IN GENERAL.**

.....

**Sec. 2-2. - City planning and zoning commission.**

(a) Reserve for future use.

.....”

**SECTION 2.** That the City of Duncanville Code of Ordinances be, and the same is, hereby amended by amending Appendix A, “Zoning Ordinance”, Article V, “Development Review Bodies”, Section 5.02, “Planning and Zoning Commission”, Subsection (A), “Establishment”, to repeal current Section 5.02(A) in its entirety and replace with a new Appendix A, “Zoning Ordinance”, Article V, “Development Review Bodies”, Section 5.02, “Planning and Zoning Commission”, Subsection (A), “Establishment”, to hereafter read as follows:

**“APPENDIX A – ZONING ORDINANCE**

.....

**Article V. – DEVELOPMENT REVIEW BODIES**

.....

**Sec 5.02. – Planning and zoning commission.**

*(A) Establishment.* There is hereby created a city planning and zoning commission consisting of seven regular members and two alternate members, each of which is appointed by the city council and serves for a term of two years.

.....”

**SECTION 3.** That all ordinances of the City of Duncanville, Texas in conflict with the provisions of this ordinance be and the same are hereby repealed and all other ordinances of the City of Duncanville, Texas not in conflict with the provisions of this ordinance shall remain in full force and effect.

**SECTION 4.** That should any sentence, paragraph, subdivision, clause, phrase or section of this ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this ordinance as a whole, or any part or provision hereof other than the part so decided to be invalid, illegal or unconstitutional, and shall not affect the validity of the Code of Ordinances as a whole.

**SECTION 5.** That this Ordinance shall take effect immediately from and after its passage and the publication of the caption of said Ordinance, as the law in such cases provides.

**DULY ADOPTED** by the City Council of the City of Duncanville, Texas, on the \_\_\_\_ day of \_\_\_\_\_, 2025.

APPROVED:

\_\_\_\_\_  
MAYOR

ATTEST:

\_\_\_\_\_  
CITY SECRETARY

APPROVED AS TO FORM:

\_\_\_\_\_  
Robert E. Hager, City Attorney



203 E Wheatland Rd.  
Duncanville, TX 75116  
(972) 780-5000

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# STAFF REPORT

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**To:** Planning and Zoning Commission  
**From:** Desiree' Powell, City Planner  
**Date:** December 2, 2025  
**RE:** Replat Request| 900 W. Camp Wisdom Road  
PLAT-2025-00004  
**Applicant:** Duncanville Independent School District (DISD)| Owner  
Edward Chadwick| Applicant/Agent

---

**REQUEST:** The applicant is requesting a replat of the subject property to divide one (1) lot into two (2) lots and add utility easement lines.

**LOCATION:** 900 W. Camp Wisdom Road, Duncanville, TX

**EXISTING ZONING:** Single Family Residential 10 (SF-10)

**PROPOSED ZONING:** Single Family Residential 10 (SF-10)

**FUTURE LAND**

**USE DESIGNATION:** Traditional Neighborhood

**PROJECT SUMMARY:**

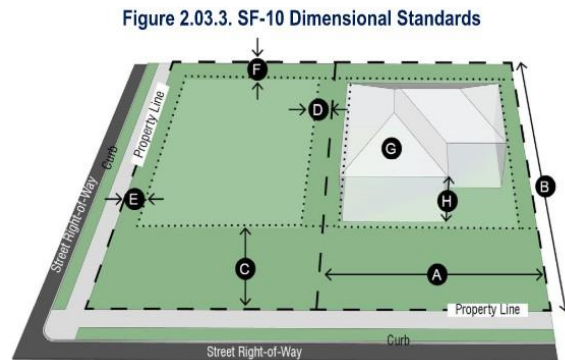
The applicant is requesting a replat of the subject property to divide one (1) lot into two (2) lots and add utility easement lines.

**DIMENSIONAL STANDARDS:**

The proposed replat does meet the minimum dimensional standards for the Single Family Residential 10 (SF-10) stated in Section 2.03.C of the Zoning Ordinance. The property is zoned Single Family Residential 10 (SF-10) which Section 2.03.C, Figure 2.03.3, lists the development standards for single family dwelling structures.

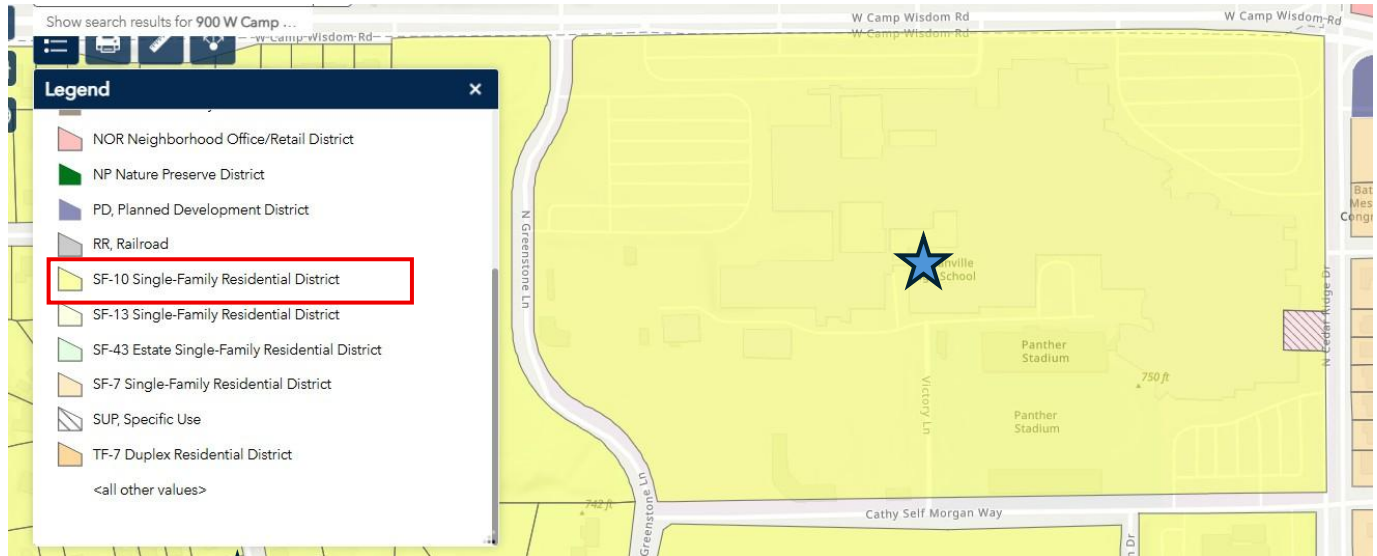
The primary use of the property is a public high school which is not allowed in the Single Family Residential 10 (SF-10) zoning district but has existed prior to the current Zoning Ordinance being adopted. The creation of one (1) lot into two (2) lots and add utility easement lines is the purpose of the request.

**Section 2.03.C Single-Family Residential (SF-10) Dimensional Standards**



Section 4.07. Screening and Buffering Req.
Section 4.08. Landscape Requirements

Min. Lot Area	A Min. Lot Width	B Min. Lot Depth	C Min. Front Setback	D Min. Interior Side Setback	E Min. Exterior Side Setback	F Min. Rear Setback	G Max. Building Coverage	H Max. Height	Min. Living Area
10,000 SF	75'	100'	25'	7.5'	10'	10'	50%	2½ stories	1,800 SF



**Subject Property** ★  
**Figure 1. Zoning Map**

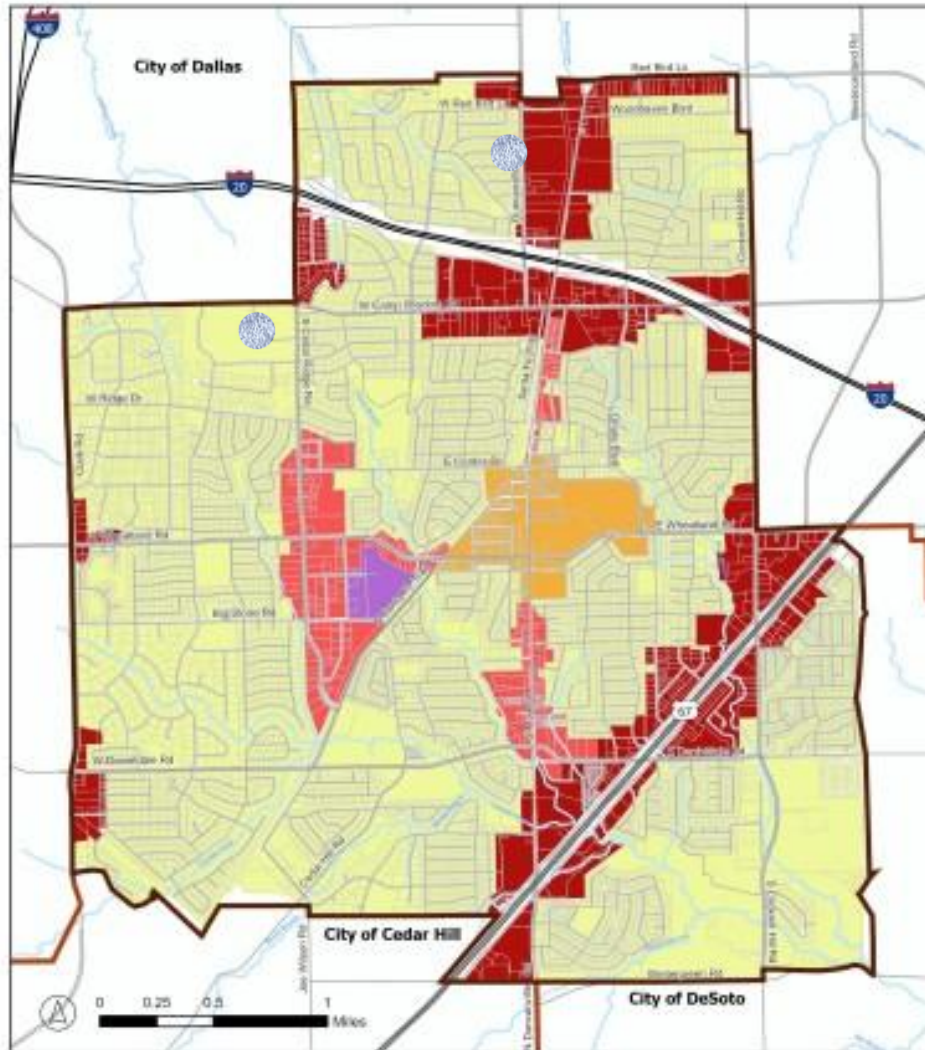
**ZONING DISTRICT DESCRIPTION:**

**SF-10 Single Family Residential District**




The SF-10 Single-Family Residential District is intended primarily for suburban style single-family dwellings and related recreational and educational facilities normally required to provide an orderly and attractive residential area. Civic institutions may be appropriate if compatible in size and operation with the surrounding residential areas. This district is intended to be defined and protected from the encroachment of uses that are not appropriate to a residential environment. Internal stability, attractiveness, order, and efficiency are encouraged by providing for adequate light, air, and open space for dwellings and related facilities and through consideration of the proper functional relationship of the different uses.

»» **Future Land Use Map**

TX Loc Govt Code § 213.005 (2024):  
A comprehensive plan shall not constitute zoning regulations or establish zoning district boundaries.



**Legend**

-  City of Duncanville
-  Municipal Boundaries
-  Hydrography

**Future Land Use**

-  Traditional Neighborhood Residential
-  Gateway Corridor
-  Main Street
-  Downtown
-  Industrial

Subject Property 

Figure 2: Future Land Use Map

**FUTURE LAND USE DESCRIPTION:**

**Traditional Neighborhood Residential** future development within this character area should reinforce community connectivity through neighborhood-scale infrastructure in residential areas in the City. Vibrant neighborhoods should offer a mixture of housing types and small-scale mixed-use neighborhood commercial areas coupled with green spaces and recreational amenities to promote social connectivity and community health.

Future development in these areas should be carefully considered to ensure they align with existing uses and add to the general character and vitality of the neighborhoods.

**SURROUNDING ZONING AND DEVELOPMENT:**

- **NORTH:** Outside of Duncanville City Limits
- **EAST:** Planned Development 2456 (PD-2456)
  - Scooters Coffee Shop, Irwin Keasler Development Red Bird Unit 4
- **SOUTH:** Single Family Residential 10 (SF-10)
  - Winona Gardens Replat
- **WEST:** Single Family Residential 10 (SF-10)
  - Winona Gardens

**PUBLIC INPUT:**

*Staff mailed 29 notices. At the time of preparation of this report staff has received one (1) response in opposition to the proposed replat.*

**STAFF REVIEW:**

Based on the minimum lot requirements stated in Article 2, Section 2.03.C, Figure 2.03.3, the two (2) lots proposed meet the minimum lot development standards as stated.

**STAFF RECOMMENDATION:**

Staff recommends **approval** of the replat.

**FIGURES:**

Figure 1: Current Zoning Map

Figure 2: Future Land Use Map

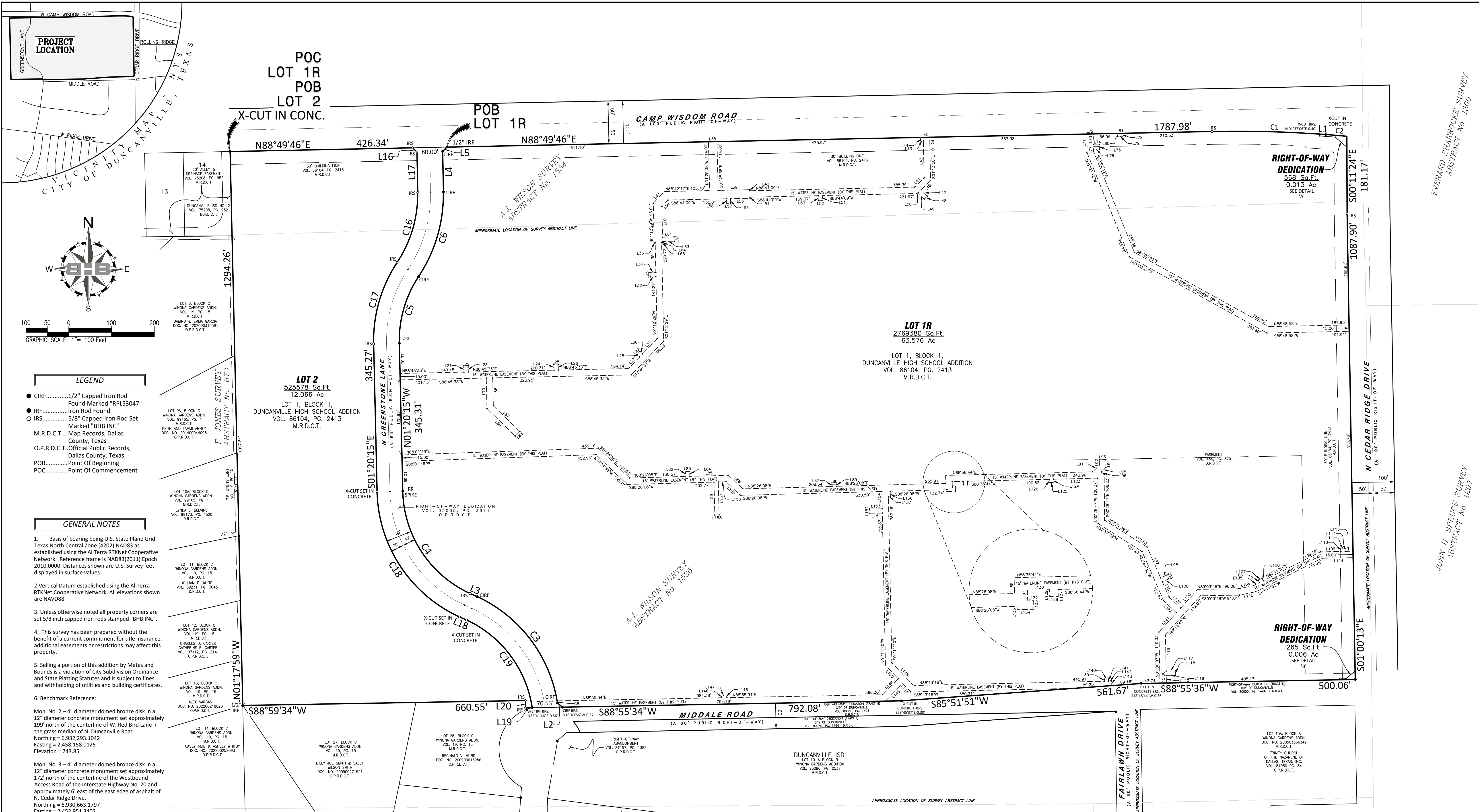


203 E Wheatland Rd.  
Duncanville, TX 75116  
(972) 780-5000

**ATTACHMENTS:**

Attachment 1: Replat

Attachment 2: Map of properties within 200 ft.



**PROJECT LOCATION**

POC  
LOT 1R  
POB  
LOT 2  
X-CUT IN CONC.

POB  
LOT 1R

**RIGHT-OF-WAY DEDICATION**  
588 Sq.Ft.  
0.013 Ac  
SEE DETAIL 'A'

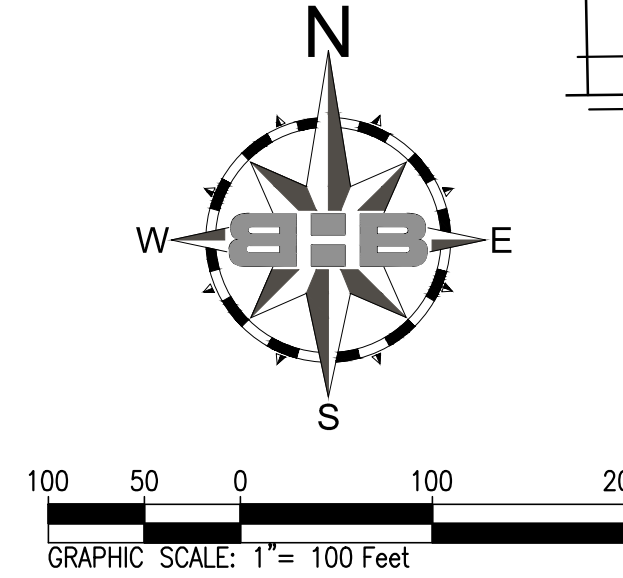
**RIGHT-OF-WAY DEDICATION**  
265 Sq.Ft.  
0.006 Ac  
SEE DETAIL 'B'

**LOT 1R**  
2769380 Sq.Ft.  
63.576 Ac

LOT 1, BLOCK 1,  
DUNCANVILLE HIGH SCHOOL ADDITION  
VOL. 86104, PG. 2413  
M.R.D.C.T.

**LOT 2**  
525578 Sq.Ft.  
12.066 Ac

LOT 1, BLOCK 1,  
DUNCANVILLE HIGH SCHOOL ADDITION  
VOL. 86104, PG. 2413  
M.R.D.C.T.



- LEGEND**
- CIRF.....1/2" Capped Iron Rod Found Marked "RPL53047"
  - IRF.....Iron Rod Found
  - IRS.....5/8" Capped Iron Rod Set Marked "BHB INC"
  - M.R.D.C.T....Map Records, Dallas County, Texas
  - O.P.R.D.C.T....Official Public Records, Dallas County, Texas
  - POB.....Point Of Beginning
  - POC.....Point Of Commencement

- GENERAL NOTES**
- Basis of bearing being U.S. State Plane Grid - Texas North Central Zone (4202) NAD83 as established using the AllTerra RTKNet Cooperative Network. Reference frame is NAD83(2011) Epoch 2010.0000. Distances shown are U.S. Survey feet displayed in surface values.
  - Vertical Datum established using the AllTerra RTKNet Cooperative Network. All elevations shown are NAVD88.
  - Unless otherwise noted all property corners are set 5/8 inch capped iron rods stamped "BHB INC".
  - This survey has been prepared without the benefit of a current commitment for title insurance, additional easements or restrictions may affect this property.
  - Selling a portion of this addition by Metes and Bounds is a violation of City Subdivision Ordinance and State Platting Statutes and is subject to fines and withholding of utilities and building certificates.
  - Benchmark Reference:  
Mon. No. 2 - 4" diameter domed bronze disk in a 12" diameter concrete monument set approximately 199' north of the centerline of W. Red Bird Lane in the grass median of N. Duncanville Road.  
Northing = 6,932,293.1042  
Easting = 2,458,158.0125  
Elevation = 743.85'  
Mon. No. 3 - 4" diameter domed bronze disk in a 12" diameter concrete monument set approximately 172' north of the centerline of the Westbound Access Road of the Interstate Highway No. 20 and approximately 6' east of the east edge of asphalt of N. Cedar Ridge Drive.  
Northing = 6,930,663.1797  
Easting = 2,452,951.3402  
Elevation = 750.33'



**OWNER:**  
DUNCANVILLE ISD  
710 S. CEDAR RIDGE DR.  
DUNCANVILLE TEXAS, 75137

The purpose of this Replat is to subdivide Lot 1, into 2 Lots and add utility easement lines. This replat does not modify or alter any existing covenants and restrictions applicable to this property.

**REPLAT**  
**LOT 1R & LOT 2**  
**DUNCANVILLE HIGH SCHOOL ADDITION**  
BEING THE REMAINDER OF A 77.675 ACRE TRACT OF LAND SITUATED WITHIN THE ANDREW J. WILSON SURVEY ABSTRACT NO. 1535 & THE ANDREW J. WILSON SURVEY ABSTRACT NO. 1534 BEING A REPLAT OF LOT 1, BLOCK 1 DUNCANVILLE HIGH SCHOOL ADDITION AS SHOWN ON PLAT, RECORDED IN VOLUME 86104, PG., 2413 M.R.D.C.T. DALLAS COUNTY, TEXAS

**NOVEMBER 2025**      **SHEET 1 OF 2**

CASE NO. PLAT-2025-00004

Drawing: F:\001\2024\8501\093 Duncanville ISD Platting\01 Design & Drafting\01 Survey\03 Replat\Replat Lot 1R-2.dwg

**LOT 2 TABLES**

Line Table		
Line #	Direction	Length
L16	S46°19'02"E	14.10
L17	S01°03'13"E	94.39
L18	S66°14'06"E	18.29
L19	S88°55'36"W	15.42
L20	N01°23'29"W	17.16

Curve Table				
Curve #	Delta	Radius	Arc Length	Chord Length
C16	34°42'56"	285.75'	173.14'	S16°20'22"W 170.50'
C17	34°57'51"	330.00'	201.38'	S16°05'57"W 198.27'
C18	64°02'00"	330.00'	368.81'	S33°21'15"E 349.91'
C19	56°33'10"	270.00'	266.50'	S36°47'40"E 255.81'

**LOT 1R TABLES**

Line Table		
Line #	Direction	Length
L1	S86°05'13"E	15.90
L2	N49°44'54"W	15.08
L3	N66°14'06"W	18.39
L4	N01°03'13"W	94.73
L5	N44°31'29"E	13.98

Curve Table				
Curve #	Delta	Radius	Arc Length	Chord Length
C1	5°05'01"	2814.90'	249.75'	S88°37'44"E 249.67'
C2	1°31'27"	1860.10'	49.48'	S85°18'34"E 49.48'
C3	56°16'52"	330.00'	324.16'	N37°02'29"W 311.28'
C4	63°56'32"	270.00'	301.32'	N33°18'31"W 285.92'
C5	34°57'51"	270.00'	164.76'	N16°05'57"E 162.22'
C6	34°41'43"	345.75'	209.37'	N16°19'46"E 206.18'

**RIGHT-OF-WAY DEDICATION TABLES**

Line Table		
Line #	Direction	Length
L6	S00°11'24"E	25.35
L7	N49°28'55"W	35.81
L8	N85°35'06"W	36.89
L9	N03°56'36"E	4.28
L10	S86°05'13"E	14.34
L11	S88°55'36"W	36.15
L12	N01°07'33"W	1.97
L13	N88°52'22"E	14.70
L14	N48°55'45"E	28.03
L15	S01°00'13"E	20.00

Curve Table				
Curve #	Delta	Radius	Arc Length	Chord Length
C7	1°31'27"	1860.10'	49.48'	S85°18'34"E 49.48'

**LOT 1R METES AND BOUNDS**

**STATE OF TEXAS §  
COUNTY OF DALLAS §**

BEING a tract of land situated in the Andrew J. Wilson Survey, Abstract Number 1534 and the Andrew J. Wilson Survey, Abstract Number 1535, City of Duncanville, Dallas County, Texas, and being the remainder of Lot 1, Block 1, Duncanville High School Addition, an addition to the City of Duncanville, Dallas County Texas, as shown on the plat recorded in Volume 86104, Page 2413, Map Records, Dallas County, Texas (M.R.D.C.T.), and being more particularly described by metes and bounds as follows: (Bearings referenced to U.S. State Plane Grid 1983 - Texas North Central Zone (4202) NAD83 as established using the AllTerra RTKNet Cooperative Network. Reference frame is NAD83(2011) Epoch 2010.0000. Distances shown are U.S. Survey feet displayed in surface values.)

COMMENCING at a found X-Cut in concrete for the northwest corner of said Lot 1, Block 1, same being the northeast corner of Lot 14, Duncanville ISD No. 2, an addition to the City of Duncanville, Dallas County, Texas, as shown on the plat recorded in Volume 75208, Page 952, M.R.D.C.T., and also being on the south right-of-way line of Camp Wisdom Road (a 100-foot public right of way);

THENCE North 88°49'46" East, with the common line of said Lot 1, Block 1, and said south right-of-way, a distance of 506.34 feet to a found 1/2-inch iron rod, being the northeast corner of a corner clip at the intersection of said Camp Wisdom Road and N Greenstone Lane, a 60-foot public right-of-way described to the City of Duncanville, as recorded Volume 92005, Page 3971, Deed Records, Dallas County, Texas, and being the **POINT OF BEGINNING** of the hereon described tract;

THENCE with the south right-of-way line of said Camp Wisdom Road, for the following courses and distances:

South 88°49'46" East, a distance of 1,787.98 feet to a set 5/8-inch capped iron rod marked "BHB INC" (IRS), and being the beginning of a curve to the right;

with a curve to the right, having a central angle of 05°05'01", a radius of 2,814.90 feet, an arc length of 249.75 feet and a chord which bears South 88°37'44" East, a distance of 249.67 feet to a point from which a found X-Cut in concrete, bears North 01°37'06" East, a distance of 0.40 feet;

South 86°05'13" East, a distance of 15.90 feet to a found x-cut in concrete;

with a curve to the right, having a central angle of 01°31'27", a radius of 1,860.10 feet, an arc length of 49.48 feet and a chord which bears South 85°18'34" East, a distance of 49.48 feet to a point at the southwest intersection of Camp Wisdom Road and N Cedar Ridge Drive (a 100-foot public right-of-way);

THENCE with the common line of said Lot 1, Block 1, and said right-of-way line of said N Cedar Ridge Drive for the following courses and distances:

South 00°11'24" East, a distance of 181.17 feet to an IRS;

South 01°00'13" East, a distance of 1,087.90 feet to a found X-cut in brick pedestrian ramp, being the northwest intersection of said N Cedar Ridge Drive and Middleale Road (a 60-foot public right-of-way);

THENCE with the common line of said Lot 1, Block 1 and the north right-of-way line of said Middleale Road, for the following courses and distances:

South 88°55'36" West, a distance of 500.06 feet from which a found X-Cut in concrete bears South 12°48'44" West, a distance of 0.26 feet;

South 85°15'51" West, a distance of 561.67 feet from which a found X-Cut in concrete bears South 58°45'37" West, a distance of 0.30 feet;

South 88°55'34" West, a distance of 792.08 feet, being the northeast corner clip of Middleale Road and aforementioned N Greenstone Lane, from which a 1/2-inch capped iron rod marked "RPLS3047" bears North 16°43'56" West, a distance of 0.27 feet;

THENCE North 49°44'54" West, with said southwest corner clip, a distance of 15.08 feet to a found 1/2-inch capped iron rod marked "RPLS3047" being on the east right of way of said N Greenstone Lane, and being the beginning of a curve to the left;

THENCE along and with the said east right-of-way for the following courses and distances:

with said curve to the left having a central angle of 56°16'52", a radius of 330.00 feet, an arc distance of 324.16 feet, and whose chord bears North 37°02'29" West, a distance of 311.28 feet to a found 1/2-inch capped iron rod marked "RPLS3047";

North 66°14'06" West, a distance of 18.39 feet to an IRS, being the beginning of a curve to the left;

with said curve to the left having central angle of 63°56'32", a radius of 270.00 feet, and arc distance of 301.32 feet, and whose chord bears North 33°18'31" West, a distance of 285.92 feet to a found railroad spike;

North 01°20'15" West, a distance of 345.31 feet to a found 1/2-inch capped iron rod marked "RPLS3047", being the beginning of a curve to the right;

with said curve to the right having a central angle of 34°57'51", a radius of 270.00 feet, an arc distance of 164.76 feet, and whose chord bears North 16°05'57" East, a distance of 162.22 feet to a found 1/2-inch capped iron rod marked "RPLS3047", being the beginning of a curve to the left;

with said curve to the left having a central angle of 34°41'43", a radius of 345.75 feet, and arc distance of 209.37 feet, and whose chord bears North 16°19'46" East, a distance of 206.18 feet to a found 1/2-inch capped iron rod marked "RPLS3047";

North 01°03'13" West, a distance of 94.73 feet to a found 1/2-inch capped iron rod marked "RPLS3047", being the southwest corner of the aforementioned northwest corner clip of said N Greenstone Lane and aforementioned Camp Wisdom Road;

THENCE North 44°31'29" East, with said corner clip, a distance of 13.98 feet to the **POINT OF BEGINNING** and containing 2,770,213 square feet or 63.595 acres of land more or less.

**LOT 2 METES AND BOUNDS**

**STATE OF TEXAS §  
COUNTY OF DALLAS §**

BEING a tract of land situated in the Andrew J. Wilson Survey, Abstract Number 1534 and the Andrew J. Wilson Survey, Abstract Number 1535, City of Duncanville, Dallas County, Texas, and being the remainder of Lot 1, Block 1, Duncanville High School Addition, an addition to the City of Duncanville, Dallas County Texas, as shown on the plat recorded in Volume 86104, Page 2413, Map Records, Dallas County, Texas (M.R.D.C.T.), and being more particularly described by metes and bounds as follows: (Bearings referenced to U.S. State Plane Grid 1983 - Texas North Central Zone (4202) NAD83 as established using the AllTerra RTKNet Cooperative Network. Reference frame is NAD83(2011) Epoch 2010.0000. Distances shown are U.S. Survey feet displayed in surface values.)

BEGINNING at a found X-Cut in concrete for the northwest corner of said Lot 1, Block 1, same being the northeast corner of Lot 14, Duncanville ISD No. 2, an addition to the City of Duncanville, Dallas County, Texas, as shown on the plat recorded in Volume 75208, Page 952, M.R.D.C.T., and also being on the south right-of-way line of Camp Wisdom Road (a 100-foot public right of way);

THENCE North 88°49'46" East, with the common line between said Lot 1, Block 1, and said south right-of-way, a distance of 426.34 feet to a set 5/8-inch capped iron rod marked "BHB INC" (IRS), being the northwest corner clip at the intersection of Camp Wisdom Road and N Greenstone Lane, a 60-foot public right-of-way described to the City of Duncanville, as recorded Volume 92005, Page 3971, Deed Records, Dallas County, Texas;

THENCE with the said corner clip and with the west right-of-way line of said N Greenstone Lane for the following courses and distances:

South 46°19'02" East, a distance of 14.10 feet to an IRS;

South 01°03'13" East, a distance of 94.39 feet to an IRS, being the beginning of a curve to the right;

with a curve to the right, having a central angle of 34°42'56", a radius of 285.75 feet, an arc length of 173.14 feet and a chord which bears South 16°20'22" West, a distance of 170.50 feet to an IRS;

with a curve to the left, having a central angle of 34°57'51", a radius of 330.00 feet, an arc length of 201.38 feet and a chord which bears South 16°05'57" West, a distance of 198.27 feet to an IRS;

South 01°20'15" East, a distance of 345.27 feet to a X-Cut set in concrete;

with a curve to the left, having a central angle of 64°02'00", a radius of 330.00 feet, an arc length of 368.81 feet and a chord which bears South 33°21'15" East, a distance of 349.91 feet to a X-Cut set in a concrete sidewalk;

South 66°14'06" East, a distance of 18.29 feet to a X-Cut set in a concrete sidewalk;

with a curve to the right, having a central angle of 56°33'10", a radius of 270.00 feet, an arc length of 266.50 feet and a chord which bears South 36°47'40" East, a distance of 255.81 feet to a point on the south line of said aforementioned Lot 1, same being the northeast corner of Lot 28, Block C, Winona Gardens Addition, an addition to the City of Duncanville, Dallas County, Texas, as shown on plat recorded in Volume 19, Page 15, O.P.R.D.C.T., from which a 3/8-inch iron rod bears North 22°41'46" East, a distance of 0.56 feet;

THENCE South 88°55'34" West, with the common line between Lot 1, Block 1 and said Lot 28, Block C, a distance of 15.42 feet to an IRS;

THENCE North 1°23'29" West, with said common line a distance of 17.16 feet to an IRS;

THENCE South 88°59'34" West, with the west line of said Lot 1, Block 1 and the east line of said Winona Gardens, passing at a distance of 1,097.34 feet, for the southeast corner of the aforementioned Lot 14, Duncanville ISD No. 2, now continuing with the common line of said Lot 1, Block 1, and said Lot 14, in all, for a total distance of 1,294.26 feet to the **POINT OF BEGINNING** and containing 525,578 square feet or 12.066 acres of land more or less.

NOW THEREFORE KNOW ALL BY THESE PRESENTS:

that **Duncanville Independent School District**, owner of the land shown on this plat, does hereby adopt this plat, designating the hereinabove described property as **Lot 1R and Lot 2, Block 1, Duncanville High School Addition**, an addition to the City of Duncanville, Dallas County, Texas. The easements shown hereon are hereby reserved for the purposes indicated. The utility and fire lane easements shall be open to the public, fire and police, the city's garbage and rubbish collection agencies, and all public and private utilities for each particular use, the maintenance of paving on utility and fire lane easements is the responsibility of the property owner. No buildings, fences, trees, shrubs, or other improvements or growths shall be constructed, reconstructed or placed upon, over or across the easements shown, and easements being hereby reserved for the mutual use and accommodation of public utilities using or desiring to use same. All and any public utility shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs, or other improvements or growths which in any way endanger or interfere with the construction, maintenance or efficiency of its respective system on the easements; and all public utilities shall at all times have the full right of ingress and egress to or from and upon the said easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or parts of its respective system without the necessity at any time procuring the permission of anyone. Any public utility shall further have the right of ingress and egress to private property for the purpose of reading meters and any maintenance or service required or deemed necessary (to that utility).

Water main and wastewater easements shall also include additional area of working space for construction and maintenance of the systems. Additional easement area is also conveyed for installation and maintenance of manholes, cleanouts, fire hydrants, water services and wastewater services from the main to the lot line, and such other appurtenances and additions thereto. The location of the easements herein granted shall be determined by their location as shown on the plat.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the City of Duncanville, Texas.

WITNESS UNDER MY HAND THIS the \_\_\_\_ day of \_\_\_\_\_ 2025.

Dr. T. Lamar Goree  
Superintendent

**THE STATE OF TEXAS §  
COUNTY OF DALLAS §**

Before me, the undersigned authority, a Notary Public in and for said County and State, on this day personally appeared Dr. T. Lamar Goree, known to me to be the person whose name is subscribed to this plat.

Given under my hand and seal of office, this \_\_\_\_ day of \_\_\_\_\_ 2025.

\_\_\_\_\_  
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

The purpose of this Replat is to subdivide Lot 1, into 2 Lots and add utility easement lines. This replat does not modify or alter any existing covenants and restrictions applicable to this property.

**REPLAT  
LOT 1R & LOT 2  
DUNCANVILLE HIGH  
SCHOOL ADDITION  
BEING THE REMAINDER OF A 77.675 ACRE TRACT OF LAND SITUATED WITHIN  
THE ANDREW J. WILSON SURVEY ABSTRACT NO. 1535 &  
THE ANDREW J. WILSON SURVEY ABSTRACT NO. 1534  
BEING A REPLAT OF LOT 1, BLOCK 1  
DUNCANVILLE HIGH SCHOOL ADDITION  
AS SHOWN ON PLAT, RECORDED IN VOLUME 86104, PG., 2413 M.R.D.C.T.  
DALLAS COUNTY, TEXAS**

**CASE NO. PLAT-2025-00004**

**NOVEMBER 2025**

**SHEET 2 OF 2**

**WATERLINE EASEMENT TABLE**

Curve Table				
Curve #	Delta	Radius	Arc Length	Chord Length
C8	0°53'05"	330.00'	5.09'	N9°20'35"W 5.09'

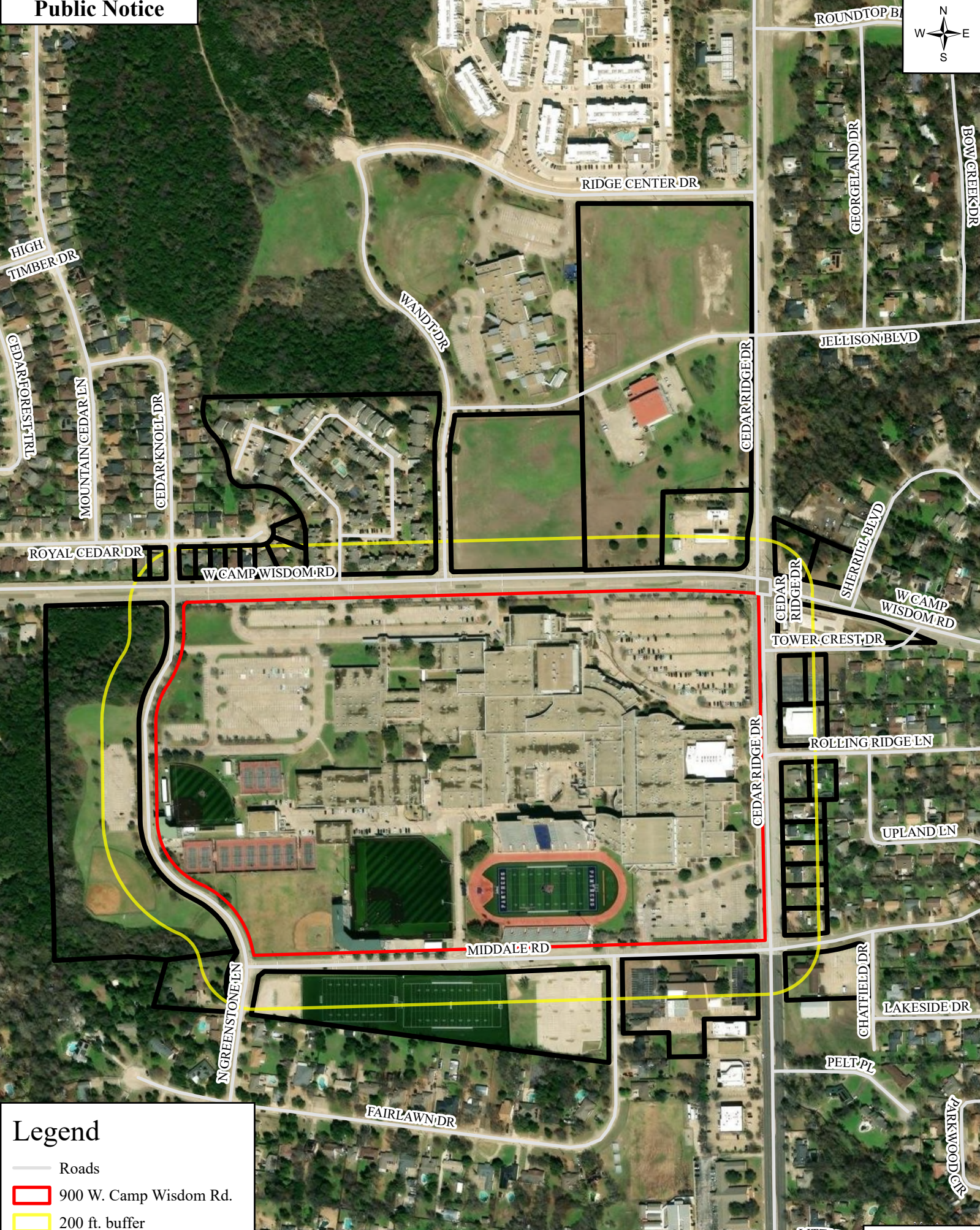
Line Table		
Line #	Direction	Length
L21	N01°14'27"W	11.78
L22	N88°45'33"E	10.00
L23	S01°14'27"E	11.78
L24	N01°14'27"W	12.46
L25	N88°45'33"E	10.00
L26	S01°14'27"E	12.46
L27	N43°46'39"E	37.45
L28	N46°13'21"W	8.50
L29	N43°46'39"E	10.00
L30	S46°13'21"E	8.50
L31	N43°46'39"E	49.36
L32	S88°47'31"W	13.42
L33	N01°12'29"W	10.00
L34	N88°47'31"E	13.42
L35	N01°12'29"W	69.24
L36	S88°47'31"W	2.50
L37	N43°48'31"E	37.47
L38	N88°49'46"E	20.00
L39	N88°44'09"E	74.00
L40	S01°15'51"E	2.50
L41	N45°27'59"E	30.54
L42	N01°13'58"W	86.93
L43	S88°46'02"W	6.03
L44	N01°13'58"W	7.86
L45	N88°49'46"E	21.03

Line Table		
Line #	Direction	Length
L46	S45°27'59"W	30.49
L47	S43°14'34"E	20.55
L48	S46°45'26"W	10.00
L49	N43°14'34"W	20.33
L50	S45°27'59"W	2.46
L51	S01°15'51"E	11.93
L52	S88°44'09"W	10.00
L53	N01°15'51"W	11.93
L54	S01°11'29"E	2.50
L55	S88°44'09"W	45.60
L56	S01°15'51"E	10.75
L57	S88°44'09"W	10.00
L58	N01°15'51"W	10.75
L59	S43°48'31"W	20.95
L60	S01°12'29"E	71.61
L61	N88°48'31"E	27.00
L62	S01°12'29"E	10.00
L63	S88°48'31"W	27.00
L64	S01°12'29"E	3.11
L65	S88°47'31"W	2.50
L66	S01°14'27"E	65.01
L67	S45°48'46"E	86.42
L68	S44°11'14"W	15.00
L69	N45°48'46"W	92.56
L70	N01°14'27"W	71.16

Line Table		
Line #	Direction	Length
L71	N00°05'51"E	42.38
L72	N88°49'46"E	15.00
L73	S00°05'51"W	25.47
L74	S89°54'09"E	14.20
L75	S00°05'51"W	10.00
L76	N89°54'09"W	14.20
L77	S00°05'51"W	4.31
L78	S01°10'14"E	6.69
L79	S88°49'46"W	10.00
L80	N01°10'14"W	6.69
L81	N88°49'46"E	10.00
L82	N01°33'52"W	11.60
L83	N88°26'08"E	10.00
L84	S01°33'52"E	11.60
L85	N88°26'08"E	90.45
L86	S46°33'52"E	46.13
L87	S01°12'29"E	5.19
L88	N88°49'26"E	10.00
L89	S01°33'52"E	5.12
L90	N01°33'52"W	18.51
L91	N43°36'44"E	22.47
L92	N01°23'16"W	11.91
L93	N88°36'44"E	15.00
L94	S01°23'16"E	18.13
L95	S43°36'44"W	14.92

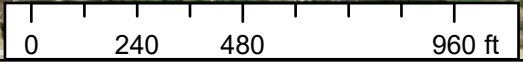
Line Table		
Line #	Direction	Length
L96	S45°28'47"E	8.82
L97	S23°44'43"E	78.60
L98	N65°33'07"E	16.45
L99	S24°26'53"E	10.00
L100	S65°33'07"W	16.57
L101	S23°44'43"E	38.84
L102	S46°38'24"E	37.47
L103	N42°12'42"E	58.81
L104	N78°10'37"E	35.56
L105	N63°11'51"E	15.16
L106	N26°48'09"W	6.75
L107	N63°11'51"E	10.00

# Public Notice



## Legend

- Roads
- 900 W. Camp Wisdom Rd.
- 200 ft. buffer
- Parcels within 200 ft. buffer





203 E Wheatland Rd.  
Duncanville, TX 75116  
(972) 780-5000

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# STAFF REPORT

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**To:** Planning and Zoning Commission  
**From:** Desiree' Powell, City Planner  
**Date:** December 2, 2025  
**RE:** Specific Use Permit (SUP) Request| 102 E. Danieldale Rd.  
Zone #2025-00001  
**Applicant:** Roland Ako| Applicant and Owner

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**REQUEST:** The applicant is requesting a Specific Use Permit (SUP) to amend the site plan for the stacking lanes of a Drive Thru from four (4) cars to nine (9) cars.

**LOCATION:** 102 E. Danieldale Road, Duncanville, TX

**EXISTING ZONING:** Local Office Retail (LOR) with a Specific Use Permit (SUP) for a Drive Thru

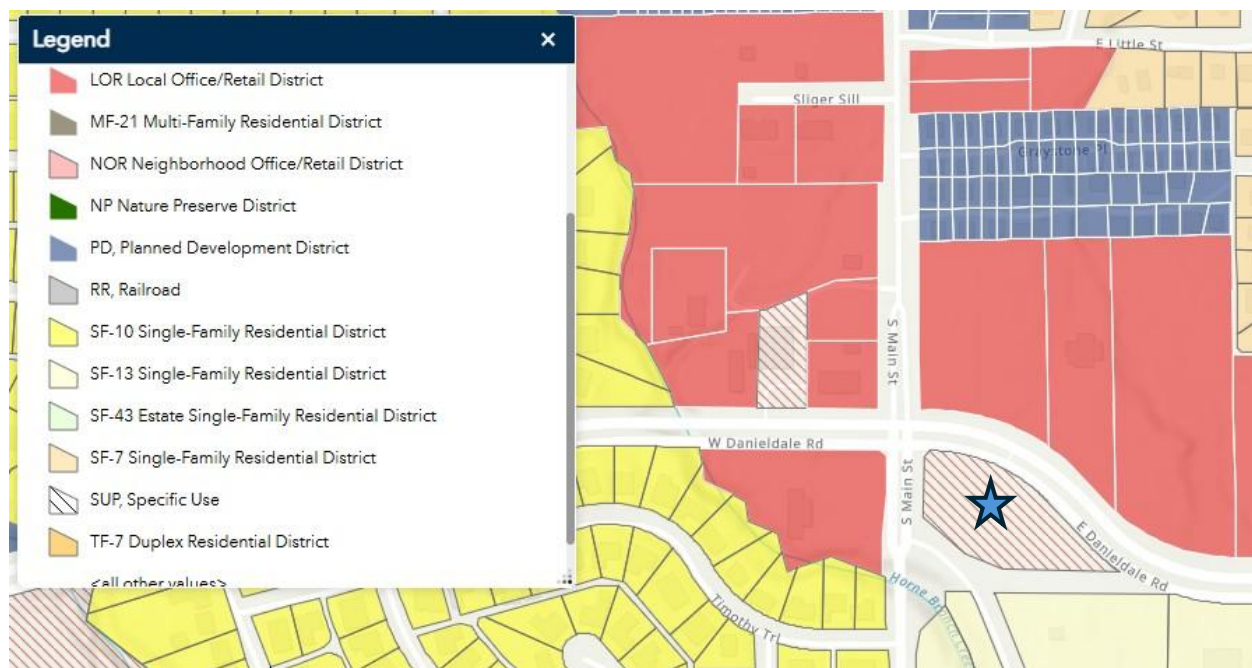
**PROPOSED ZONING:** Local Office Retail (LOR) with a Specific Use Permit (SUP) for a Drive Thru from four (4) cars to nine (9) cars in the stacking lane.

**FUTURE LAND  
USE DESIGNATION:** Main Street District

**PROJECT SUMMARY:**

The applicant is requesting approval of a Specific Use Permit (SUP) to amend an existing site plan for drive-thru stacking lanes for a proposed retail/restaurant tenant. The existing SUP includes approval for a drive-thru, however, the site plan illustrates four (4) cars as part of the drive-thru stacking lane. The owner is requesting a larger stacking lane to allow for nine (9) cars instead of the original four (4) cars. Due to the increased intensity of the drive-thru use, the site plan and SUP are being amended to accommodate for the higher volume of cars.

The primary purpose of the SUP amendment is to review the site plan with the proposed use of a coffee shop with the allowance of more cars as part of the drive-thru stacking lane. The SUP for the entire property, including the existing pharmacy and drive-thru, will not be impacted as part of staff’s review.



**Subject Property** ★

**Figure 1. Zoning Map**



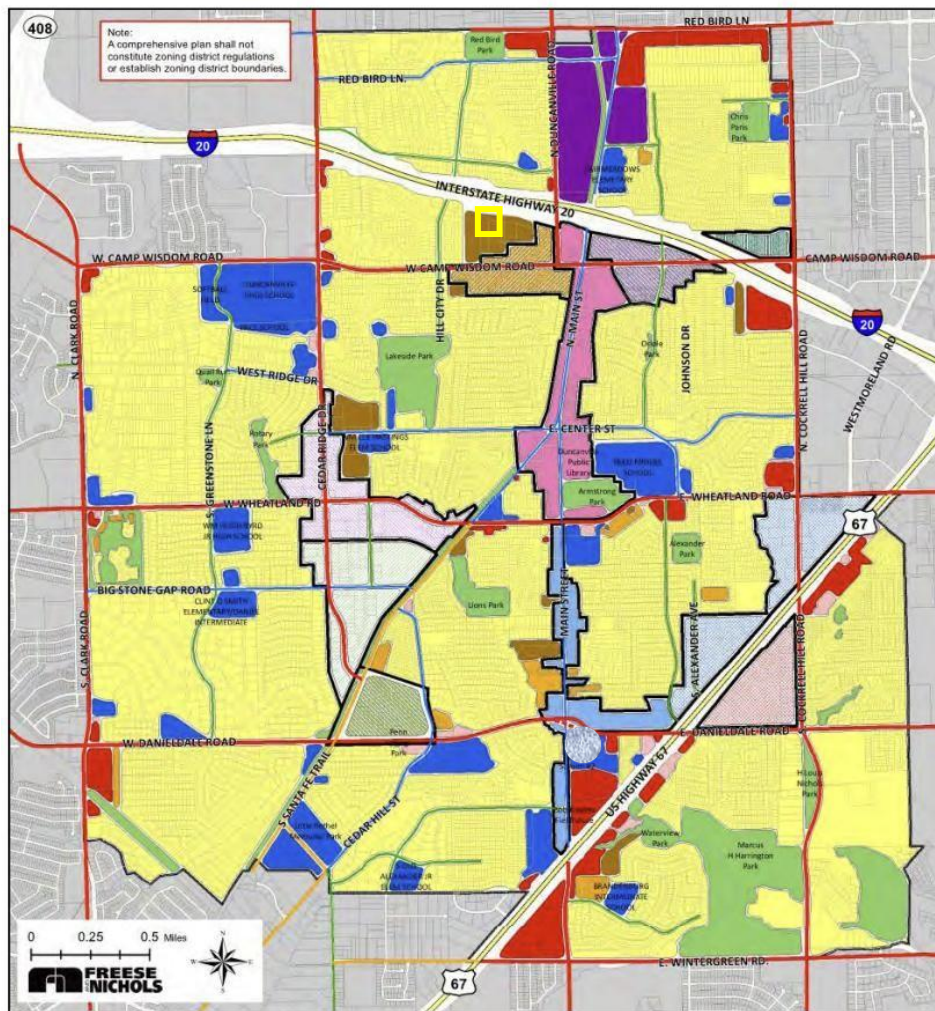
203 E Wheatland Rd.  
Duncanville, TX 75116  
(972) 780-5000

## **ZONING DISTRICT DESCRIPTION:**

### **Existing:**

The Local Office Retail (LOR) district is established to provide for the development of community-serving retail, personal service, and office uses at a scale and intensity compatible with residential communities. Pad site development is also allowed in this zoning district. These areas shall utilize landscape and screening requirements. This district should be located along or at the intersections of major collectors or thoroughfares to accommodate higher traffic volumes.

### **Figure 2: Future Land Use Map**



**Future Land Use**

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**Subject Property:** 

**FUTURE LAND USE DESCRIPTION:**

**Main Street District** is envisioned as being a mixed use activity hub, but more auto-oriented and serving two primary purposes:

Highway quality commercial, particularly restaurants, to capitalize on the Fieldhouse.

Development of a hub of community activity like the Downton District, but smaller in scale and more oriented towards neighborhoods than the regions, specifically neighborhood and boutique retail/commercial, through the rest of the Main Street District.

#### **USE DEFINITIONS:**

Article VII Section 7.02.B Accessory and Incidental Uses

*Drive-Thru: An accessory use typically associated with restaurants, banks, pharmacies, and other uses to accommodate drive-up traffic.*

Article VII Section 7.02.E Retail and Service Uses

*Restaurant, Seated Service: An establishment that prepares and sells food and beverages primarily for on-site consumption. Said establishments do not include drive-thru windows unless a Drive-Thru is permitted as an accessory use.*

#### **SURROUNDING ZONING AND DEVELOPMENT:**

- **NORTH:** Local Office Retail (LOR)
  - Vacant
- **EAST:** Local Office Retail (LOR)
  - Shiloh Church
- **SOUTH:** Single Family 13 Residential District (SF-13)
  - City of Duncanville Service Center property
- **WEST:** Local Office Retail (LOR)
  - Vacant

#### **PUBLIC INPUT:**

*Staff mailed out 8 notices. At the time of preparation of this report staff has not received any responses supporting or in opposition to the proposed rezoning request.*

#### **STAFF REVIEW:**

The current Specific Use Permit (SUP) for the property including the existing pharmacy and proposed restaurant/retail tenant with a drive-thru for both uses was approved in 2021. This approval included a drive-thru stacking lane for a total of four (4) cars, however, the number of cars in the stacking lane has increased to nine (9) based on the proposed use, a drive-thru coffee shop. With the primary use of the proposed business as a coffee shop, considered 'restaurant, limited seating' as stated in the City of Duncanville's Land Use

Chart, with the drive-thru as an accessory use. According to Section 3.01 of the Zoning Ordinance, Drive-Thru as an use is permitted with the review and approval of a SUP in the Local Office Retail (LOR) zoning district, which is the base zoning district of the property and approved SUP. Additionally, the Drive-Thru may not exist if not accompanied by a primary retail or restaurant use.

#### **SITE PLAN:**

The site plan submitted by the applicant included the plans specifically addressing the location and development standards of the proposed drive thru stacking lanes along with the completion of the dead-end road connecting to E. Danieldale Road. Since previous grading and civil plans have been approved staff is primarily focusing on the site plan to ensure the site can function as intended based on the size of the property, the proposed drive-thru intake increase, and additional site improvements regarding public safety. Although this request is for the drive-thru stacking lanes exclusively, the site plan must be reviewed for compliance in its entirety.

#### **KEY FEATURES OF AN SUP:**

**a. The proposed use is consistent and compatible with the adjacent land use and zoning.**

The proposed use is consistent and compatible with adjacent land uses and zoning. The subject property is zoned General Office/Retail (GOR), which allows fuel pumps only with approval of a Specific Use Permit (SUP). Staff finds the proposed use, a retail store with accessory fuel pumps, to be appropriate within this zoning district and compatible with nearby developments of similar character and intensity.

To the northeast, across South Main Street, there is an existing Texaco gas station that includes a retail convenience store as the primary use and fuel pumps as an accessory and incidental use. Similarly, to the southwest, bordering West Highway 67, a 7-Eleven gas station operates with general retail and a convenience store as the primary use, also featuring fuel pumps as an accessory use. These adjacent uses reinforce the commercial nature of the corridor and demonstrate established precedent for this type of development in the immediate area. To the east of the subject property are Single-Family-7 (SF-7) and SingleFamily10 (SF-10) residential homes, which are separated from the proposed site by zoning buffers and setback requirements. Additionally, to the north, a Planned Development (PD) zoning district includes a mix of retail and office uses, further supporting the area's compatibility with limited commercial services.

Staff conclude that the proposed fuel pumps do not conflict with the surrounding land uses and that the requested Specific Use Permit is the minimum mechanism necessary to authorize this accessory use under current zoning regulations.

**b. The proposed use is consistent with the architecture and characteristics of the adjacent properties.**

The proposed use is consistent with the architecture and overall character of adjacent properties. The project includes a 64.5-foot by 160-foot canopy structure to cover the fuel pumps, designed to mirror the architectural style and characteristics of existing fuel pump accessory located on the southern side of the property. The canopy will shelter a total of 15 multi-product dispensers, and its design, materials, and scale are intended to integrate seamlessly with the surrounding built environment. Staff finds that the proposed architectural elements and materials are compatible with adjacent properties and consistent with the commercial development patterns along this corridor.

**c. The proposed use may promote innovative use of modern development concepts, without having an adverse impact on adjacent properties.**

Staff finds that the proposed use follows the development standards set forth in the City of Duncanville Zoning Ordinance and does not foresee an adverse impact on adjacent properties.

**d. The proposed use is consistent with the goals and objectives of the City.**

The proposed use is consistent with the goals and objectives of the City of Duncanville. The Comprehensive Plan envisions continued Retail and Commercial development along key corridors, including the area surrounding West Highway 67 and West Wintergreen Road. This area is already developed with major retail, including the existing Costco, which currently operates a fuel station on the same property. The addition of an expanded or secondary fuel pump station on the Costco site enhances the site's function as a regional retail hub. By increasing fuel service capacity, the proposal supports the City's broader goals of improving access to essential services, enhancing the efficiency of high traffic retail centers, and reinforcing the viability of key commercial corridors. As such, the proposed use directly contributes to the City's long-term vision for balanced, service-oriented commercial growth.

**e. The proposed use is an enhancement or improvement beyond the minimum standards set forth by the Zoning Ordinance.**

Staff finds that the proposed use meets the minimum standards set forth by the zoning ordinance.

**f. The proposed use will not be detrimental to the general health, safety, and welfare of the community.**

The proposed use should not be detrimental to the general health, safety, and welfare of the community.

**g. The proposed use would stabilize and improve property values within the City.**

Staff cannot prove or disprove that the proposed use would stabilize and improve property values within the City.

**h. The proposed use would protect and enhance the City's attractiveness to residents, businesses, tourists, and visitors.**

**i.**

Staff cannot speak to how the proposed use would protect and enhance the City's attractiveness to residents, businesses, tourists, and visitors. Staff recognizes that fuel stations are a fundamental amenity that supports both local and regional activity. The addition of fuel pumps on a high-traffic retail site such as Costco may enhance convenience and accessibility for shoppers, travelers, and commuters, which can contribute to a more functional and service-oriented retail/commercial environment. While staff cannot definitively determine the broader impact on the City's image or appeal, the proposed use does align with infrastructure and service expectations typical of a well-developed retail corridor.

**j. The proposed use would strengthen and help diversify the economy of the City.**

Staff cannot speak to how the proposed use would strengthen and help diversify the economy of the City.

**STAFF RECOMMENDATION:**

Approve. Staff finds that the proposed accessory and incidental fuel pump use and associated development satisfy and exceed the minimum requirements set forth in the City



203 E Wheatland Rd.  
Duncanville, TX 75116  
(972) 780-5000

of Duncanville Zoning Ordinance. Staff recommends approval contingent upon the extension and finished construction of the exit driveway leading to Daniieldale Road.

**FIGURES:**

Figure 1: Zoning Map

Figure 2: Future Land Use Map

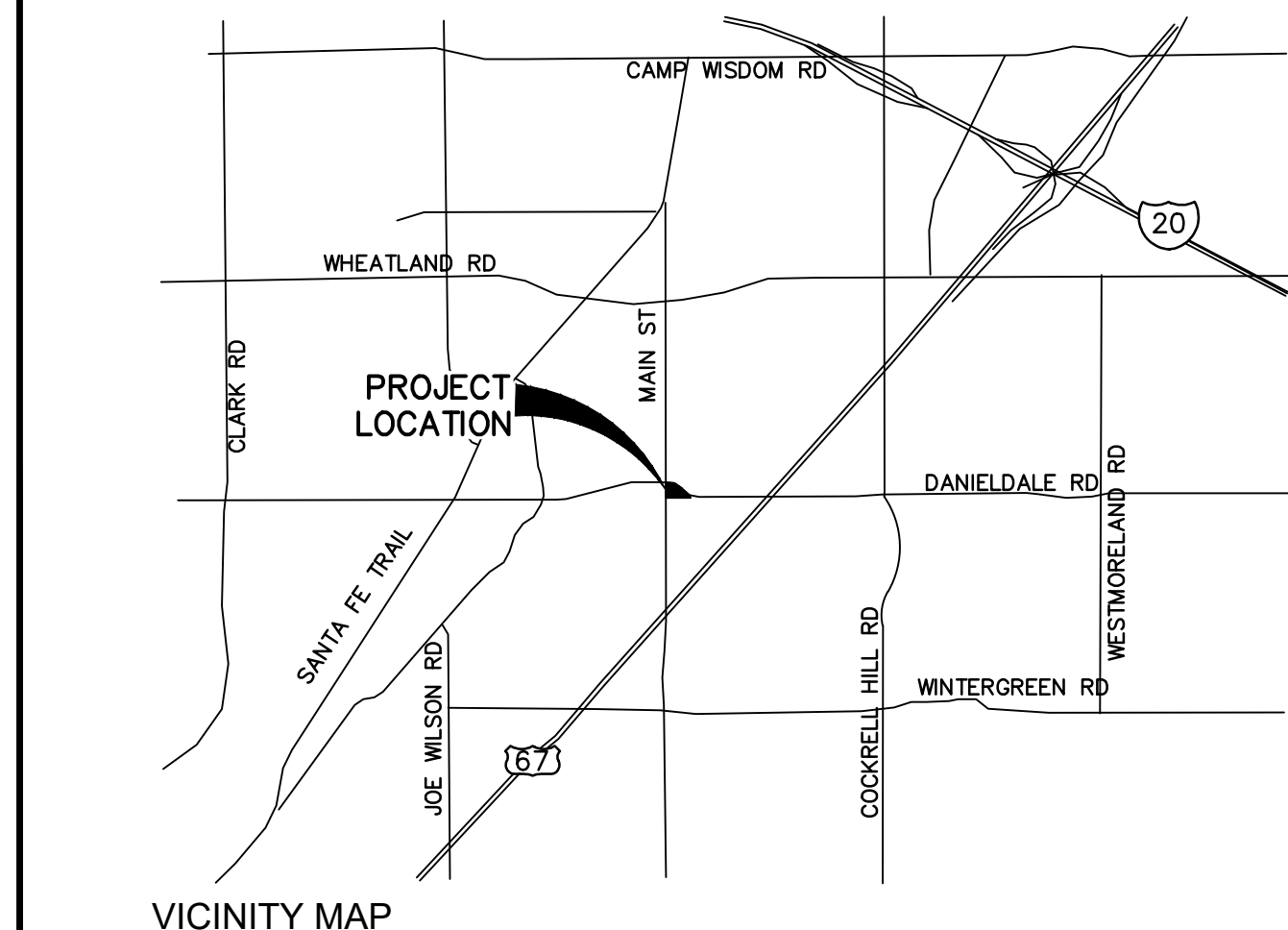
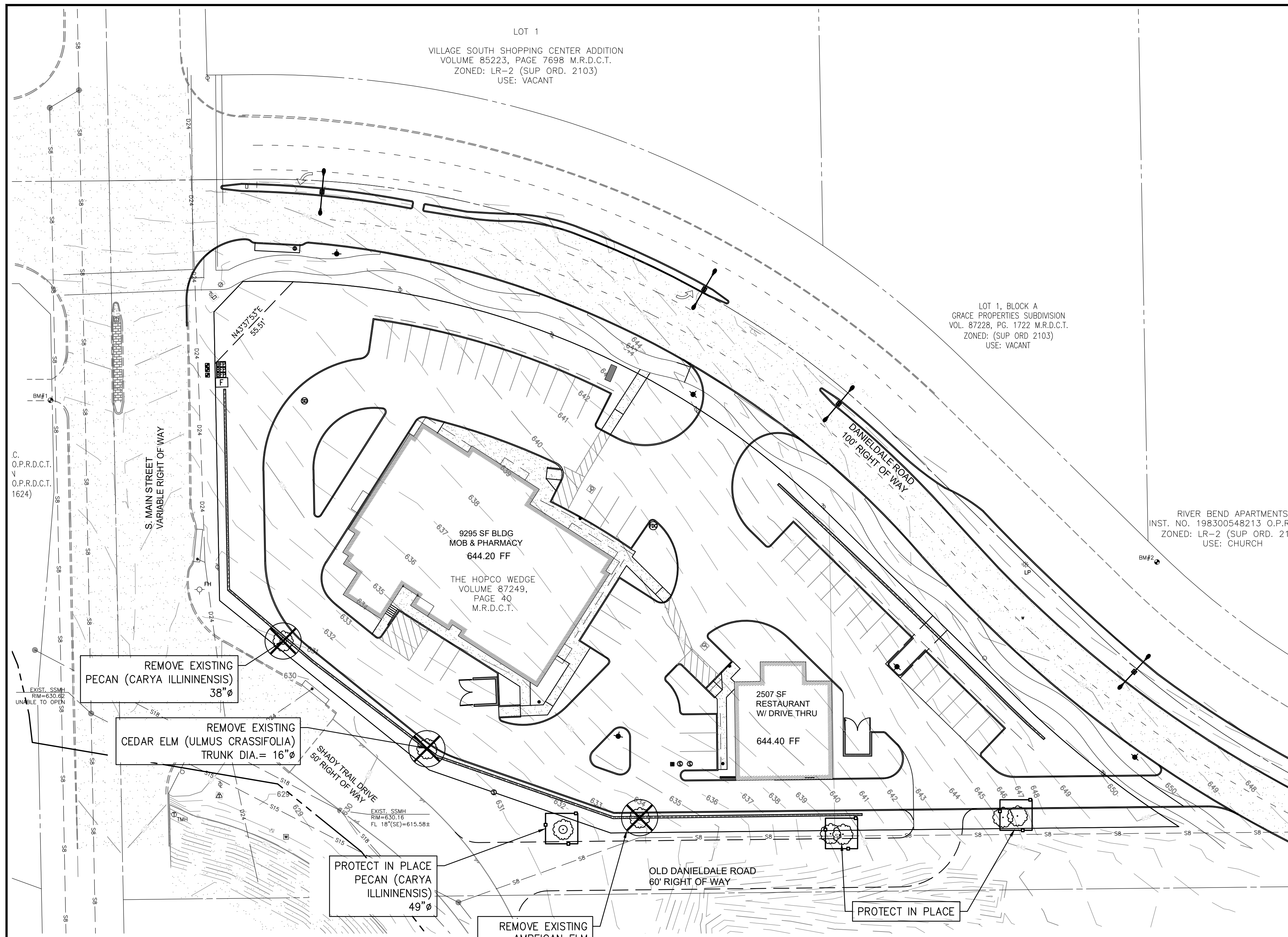
**ATTACHMENTS:**

Attachment 1: Site Plan

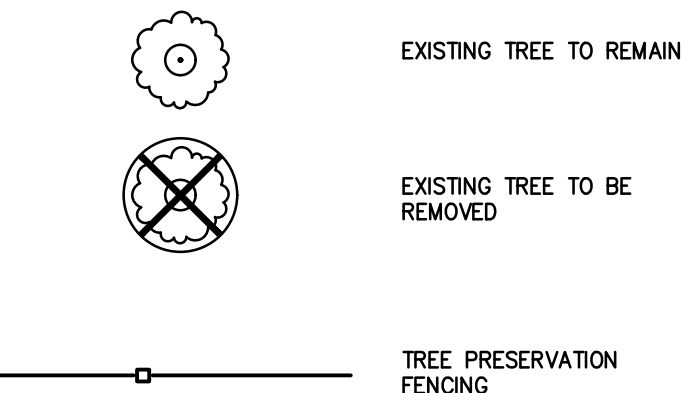
Attachment 2: Landscape Plan

Attachment 3: Map of properties within 200 ft,



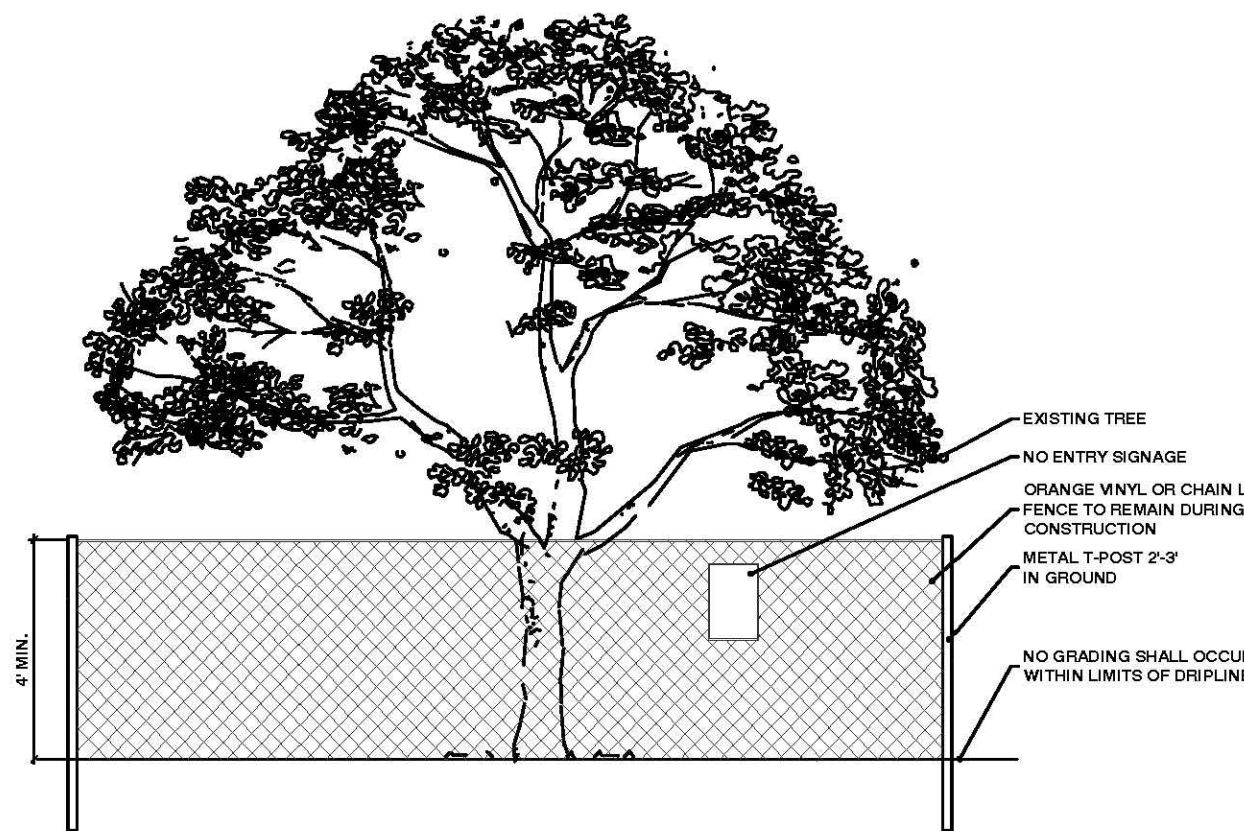


**TREE PRESERVATION LEGEND**

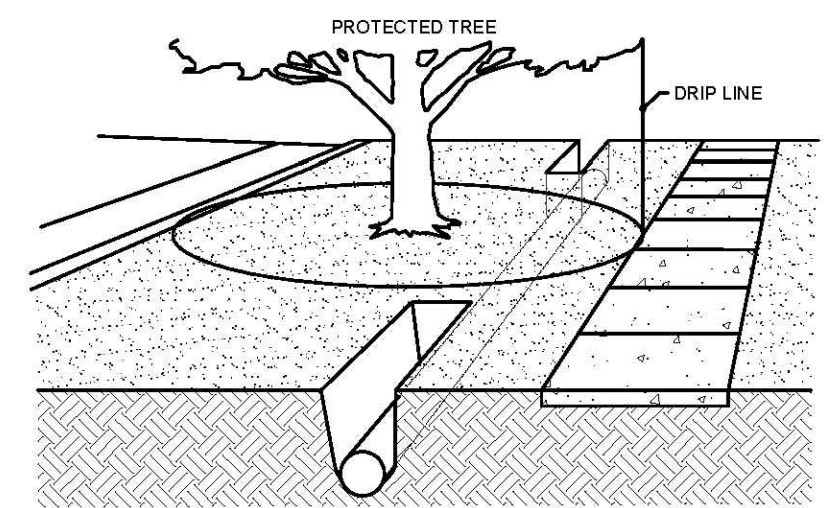


**MITIGATION REQUIREMENTS**

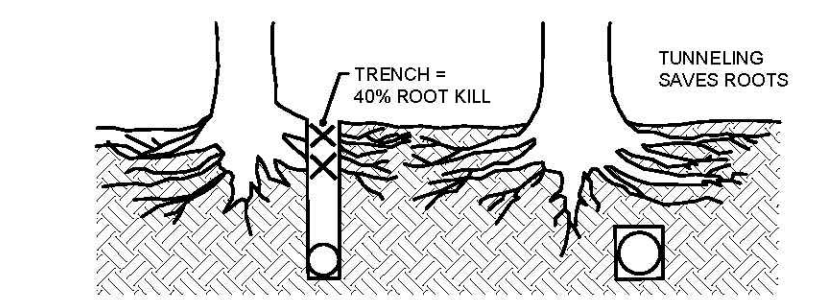
TREES TO BE REMOVED	REQUIRED MITIGATION
12" TO 30" CALIPER	
1 (16" CALIPER)	4 - 4" CALIPER TREES
GREATER THAN 30" CALIPER	
1 (38" CALIPER)	12 - 6" CALIPER TREES
1 (31" CALIPER)	



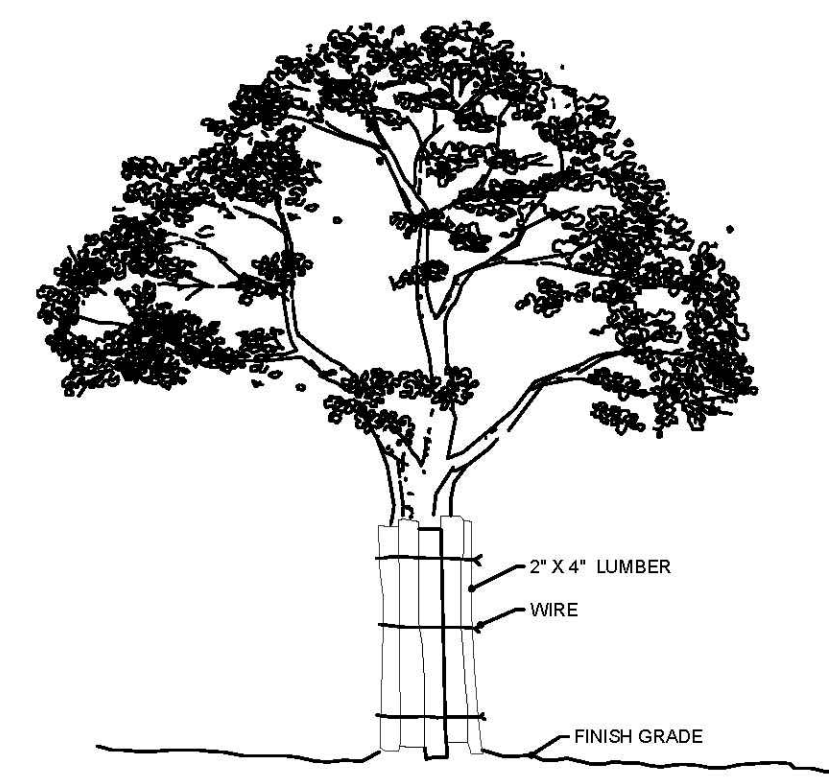
**1 TREE PROTECTION FENCING**



**NOTES:** BORING OF UTILITIES UNDER PROTECTED TREES SHALL BE REQUIRED IN CIRCUMSTANCES WHERE IT IS NOT POSSIBLE TO TRENCH AROUND THE CRITICAL ROOT ZONE OF THE PROTECTED TREE. WHERE REQUIRED, THE LENGTH OF THE BORE SHALL BE THE WIDTH OF THE CRITICAL ROOT ZONE AT A MINIMUM AND SHALL BE A MINIMUM DEPTH OF FORTY EIGHT (48) INCHES.



**2 BORING AND TUNNELING**

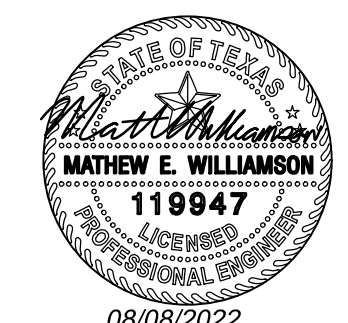


WHERE A PROTECTED TREE REMAINS IN THE IMMEDIATE AREA OF INTENDED CONSTRUCTION, AND THE TREE MAY BE IN DANGER OF BEING DAMAGED BY CONSTRUCTION EQUIPMENT OR OTHER ACTIVITY, THE CONTRACTOR OR SUBCONTRACTOR SHALL PROTECT THE TREE WITH 2\"/>

**3 BARK PROTECTION**

**TREE PRESERVATION NOTES**

- CONSTRUCTION METHODS:**
- BORING: BORING OF UTILITIES UNDER PROTECTED TREES MAY BE REQUIRED. WHEN REQUIRED, THE MINIMUM LENGTH OF THE BORE SHALL BE THE WIDTH OF THE CRITICAL ROOT ZONE AND SHALL BE A MINIMUM DEPTH OF FORTY (48) INCHES.
  - TRENCHING: ALL TRENCHING SHALL BE DESIGNED TO AVOID TRENCHING ACROSS CRITICAL ROOT ZONES OF ANY PROTECTED TREE. THE PLACEMENT OF UNDERGROUND UTILITY LINES SUCH AS ELECTRIC, PHONE, GAS, ETC., IS ENCOURAGED TO BE LOCATED OUTSIDE THE CRITICAL ROOT ZONE. TRENCHING FOR IRRIGATION SYSTEMS SHALL BE PLACED OUTSIDE THE CRITICAL ROOT ZONE EXCEPT THE MINIMUM REQUIRED SINGLE HEAD SUPPLY LINE. THIS LINE IS ALLOWED TO EXTEND INTO THE CRITICAL ROOT ZONE PERPENDICULAR TO THE TREE TRUNK WITH THE LEAST POSSIBLE DISTURBANCE.
  - TREES TO BE REMOVED: ALL TREES TO BE REMOVED FROM THE SITE SHALL BE FLAGGED BY THE CONTRACTOR WITH BRIGHT RED VINYL TAPE WRAPPED AROUND THE MAIN TRUNK AT A HEIGHT OF FOUR (4) FEET ABOVE GRADE.
  - TREES TO REMAIN: ALL TREES TO REMAIN, AS NOTED ON DRAWINGS, SHALL HAVE PROTECTIVE FENCING LOCATED AT THE TREE'S DRIP LINE. THE PROTECTIVE FENCING SHALL BE LOCATED AS INDICATED ON THE TREE PROTECTION DETAIL.
  - EXISTING TREES NOTED TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION FROM DAMAGE AND COMPACTION OF SOIL UNDER AND AROUND DRIP LINE OF TREE.
  - UNDER NO CIRCUMSTANCE SHALL THE CONTRACTOR PRUNE ANY PORTION OF THE DAMAGED TREE WITHOUT THE PRIOR APPROVAL BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
  - PROHIBITED ACTIVITIES IN CRITICAL ROOT ZONE: THE FOLLOWING ACTIVITIES ARE PROHIBITED IN THE AREAS NOTED AS THE CRITICAL ROOT ZONE.
    - MATERIAL STORAGE: NO MATERIALS INTENDED FOR USE IN CONSTRUCTION, OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION, SHALL BE PLACED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE.
    - EQUIPMENT CLEANING/LIQUID DISPOSAL: NO EQUIPMENT SHALL BE CLEANED, OR OTHER LIQUIDS DEPOSITED OR ALLOWED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF A PROTECTED TREE. THIS INCLUDES, WITHOUT LIMITATION: PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR SIMILAR MATERIALS.
    - TREE ATTACHMENTS: NO SIGNS, WIRES, OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY PROTECTED TREE.
    - VEHICULAR TRAFFIC: NO VEHICULAR AND/OR CONSTRUCTION, EQUIPMENT, TRAFFIC, OR PARKING SHALL TAKE PLACE WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE OTHER THAN ON EXISTING STREET PAVEMENT.
    - GRADE CHANGES: A MINIMUM OF 75% OF THE DRIP LINE AND ROOT ZONE SHALL BE PRESERVED AT NATURAL GRADE. ANY FINE GRADING DONE WITHIN THE CRITICAL ROOT ZONES OF THE PROTECTED TREES MUST BE DONE WITH LIGHT MACHINERY SUCH AS A BOBCAT OR LIGHT TRACTOR. NO EARTH MOVING EQUIPMENT WITH TRACKS IS ALLOWED WITHIN THE CRITICAL ROOT ZONE OF THE TREES.
  - PROCEDURES REQUIRED PRIOR TO CONSTRUCTION: PROTECTIVE FENCING: PRIOR TO CONSTRUCTION, THE CONTRACTOR OR SUBCONTRACTOR SHALL CONSTRUCT AND MAINTAIN, FOR EACH PROTECTED TREE ON A CONSTRUCTION SITE, A PROTECTIVE FENCING WHICH ENCLOSES THE OUTER LIMITS OF THE CRITICAL ROOT ZONE OF THE TREE TO PROTECT IT FROM CONSTRUCTION ACTIVITY. ALL PROTECTIVE FENCING SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF ANY SITE WORK, AND REMAIN IN PLACE UNTIL ALL EXTERIOR WORK HAS BEEN COMPLETED.
  - BARK PROTECTION: IN SITUATIONS WHERE A PROTECTED TREE REMAINS IN THE IMMEDIATE AREA OF INTENDED CONSTRUCTION, AND THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE DETERMINES THE TREE BARK TO BE IN DANGER OF DAMAGE BY CONSTRUCTION EQUIPMENT OR OTHER ACTIVITY, THE CONTRACTOR OR SUBCONTRACTOR SHALL PROTECT THE TREE BY ENCLOSED THE ENTIRE CIRCUMFERENCE OF THE TREE WITH 2\"/>



08/08/2022

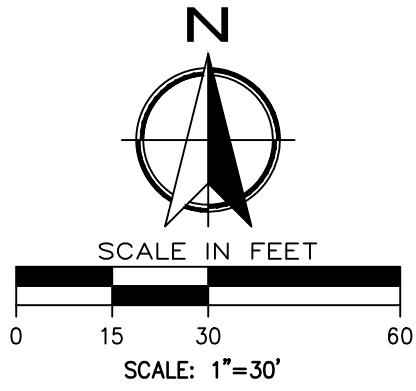
**TREE PRESERVATION PLAN**

THE HOPCO WEDGE  
DUNCANVILLE, DALLAS COUNTY, TX

OWNER: ITALY FAMILY PHARMACY, INC.  
2549 MARINA DRIVE GRAND PRAIRIE, TX 75054  
CONTACT: ROLAND AKO AYUKROL@YAHOO.COM

ENGINEER: MBW ENGINEERING, LLC  
4924 BOLERO CT FORT WORTH, TX 76135  
CONTACT: MATHEW WILLIAMSON, PE  
MBWENG1@OUTLOOK.COM 817-782-9821

ORIGINAL SUBMITTAL: MAY 8, 2021  
REVISED: MAY 31, 2021



LOT 1  
VILLAGE SOUTH SHOPPING CENTER ADDITION  
VOLUME 85223, PAGE 7698 M.R.D.C.T.  
ZONED: LR-2 (SUP ORD. 2103)  
USE: VACANT

102 E. Danieldale Rd.

ID #	Species	Caliper"	Perfect Tree Value	Tree Variety	Tree Condition	Tree Location	Tree Value
1	Pecan	40	\$31,416	100%	55%	70%	\$12,095.16
2	Cedar Elm	16	\$5,027	100%	65%	70%	\$2,287.08
3	American Elm	29	\$16,513	80%	80%	75%	\$7,926.26
<b>Totals</b>							<b>\$22,308.50</b>
6-6" trees							\$9,448.20
							\$12,860.30

LOT 1, BLOCK A  
GRACE PROPERTIES SUBDIVISION  
VOL. 87228, PG. 1722 M.R.D.C.T.  
ZONED: (SUP ORD 2103)  
USE: VACANT

GENERAL LAWN NOTES

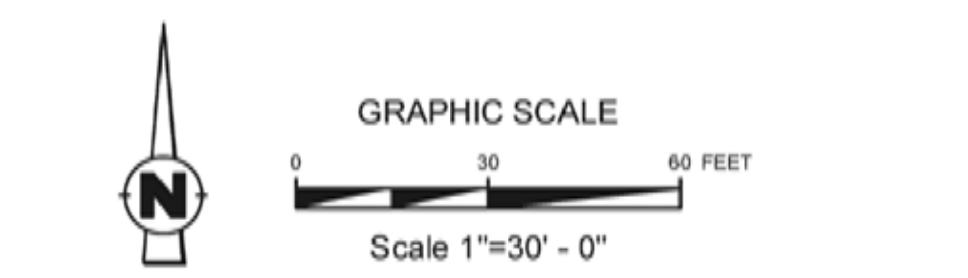
- CONTRACTOR SHALL COORDINATE OPERATIONS AND AVAILABILITY OF EXISTING TOPSOIL WITH ON-SITE CONSTRUCTION MANAGER
  - LAWN AREAS SHALL BE LEFT 1" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION.
  - CONTRACTOR TO FIND GRADE AREAS TO ACHIEVE FINAL CONTOURS AS SHOWN ON CIVIL DRAWINGS. POSITIVE DRAINAGE SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. ROUNDINGS AT TOP AND BOTTOM OF SLOPES SHALL BE PROVIDED AND IN OTHER BREAKS IN GRADE. CORRECT AREAS WHERE STANDING WATER MAY OCCUR.
  - ALL LAWN AREAS SHALL BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION.
  - CONTRACTOR SHALL REMOVE ALL ROCKS 3/4" IN DIAMETER AND LARGER. REMOVE ALL DIRT CLOUDS, STICKS, CONCRETE SPOILS, TRASH ETC PRIOR TO PLACING TOPSOIL AND GRASS INSTALLATION.
  - CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE.
  - CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT IF NECESSARY.
- SOLID SOD**
- SOLID SOD SHALL BE PLACED ALONG ALL IMPERVIOUS EDGES, AT A MINIMUM. THIS SHALL INCLUDE CURBS, WALKS, INLETS, MANHOLES AND PLANTING BED AREAS. SOD SHALL COVER OTHER AREAS COMPLETELY AS INDICATED BY PLAN.
  - SOD SHALL BE STRONGLY ROOTED DROUGHT RESISTANT SOD, NOT LESS THAN 2 YEARS OLD, FREE OF WEEDS AND UNDESIRABLE NATIVE GRASS AND MACHINERY CUT TO PAD THICKNESS OF 3/4" (+/-1/4"), EXCLUDING TOP GROWTH AND THATCH.
  - LAY SOD BY HAND TO COVER INDICATED AREAS COMPLETELY, ENSURING EDGES ARE TOUCHING WITH TIGHTLY FITTING JOINTS. NO OVERLAPS WITH STAGGERED STRIPS TO OFFSET JOINTS.
  - TOP DRESS JOINTS IN SOD BY HAND WITH TOPSOIL TO FILL VOIDS IF NECESSARY.
  - SOD SHALL BE ROLLED TO CREATE A SMOOTH EVEN SURFACE. SOD SHOULD BE WATERED THOROUGHLY DURING INSTALLATION PROCESS.
  - SHOULD INSTALLATION OCCUR BETWEEN OCTOBER 1ST AND MARCH 1ST, OVERSEED BERMUDA GRASS SOD WITH WINTER RYEGRASS AT A RATE OF 4 POUNDS PER 1000 S.F.
- HYDROMULCH**
- SCARIFY AND LOOSEN ALL AREAS TO BE HYDROMULCHED TO A MINIMUM DEPTH OF 4" PRIOR TO TOPSOIL AND HYDROMULCH INSTALLATION.
  - BERMUDA GRASS SEED SHALL BE EXTRA HULLED, TREATED LAWN TYPE. SEED SHALL BE DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER AND SHALL MEET ALL STATE/LOCAL LAW REQUIREMENTS.
  - FIBER SHALL BE 100% WOOD CELLULOSE FIBER, DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER AS MANUFACTURED BY 'CONWEB' OR EQUAL.
  - FIBER TACK SHALL BE DELIVERED TO THE SITE IN ITS UNOPENED CONTAINER AND SHALL BE 'TERRA-TACK ONE', AS MANUFACTURED BY 'CROWNE', INC. OR APPROVED EQUAL.
  - HYDROMULCH WITH BERMUDA GRASS SEED AT A RATE OF 2 POUNDS PER 1000 S.F.
  - USE A BATTER BOARD AGAINST ALL BED AREAS TO PREVENT OVER SPRAY.
  - IF INADEQUATE MOISTURE IS PRESENT IN SOIL, APPLY WATER AS NECESSARY FOR OPTIMUM MOISTURE FOR SEED APPLICATION.
  - IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1ST AND MAY 1ST, ALL HYDROMULCH AREAS SHALL BE OVER-SEEDED WITH WINTER RYE GRASS AT A RATE OF FOUR POUNDS PER ONE THOUSAND SQUARE FEET. CONTRACTOR SHALL BE REQUIRED TO RE-HYDROMULCH WITH BERMUDA GRASS THE FOLLOWING GROWING SEASON AS PART OF THIS CONTRACT.
  - AFTER APPLICATION, NO EQUIPMENT SHALL OPERATE OVER APPLIED AREAS. WATER SEED AREAS IMMEDIATELY AFTER INSTALLATION TO SATURATION.
  - ALL LAWN AREAS TO BE HYDROMULCHED SHALL ACHIEVE 100% COVERAGE PRIOR TO FINAL ACCEPTANCE.

LANDSCAPE NOTES

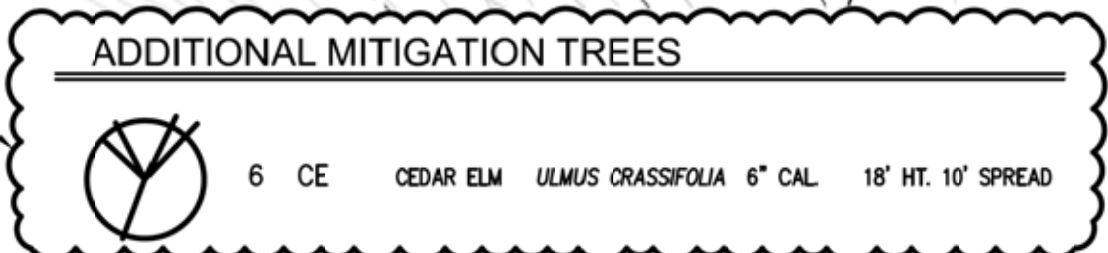
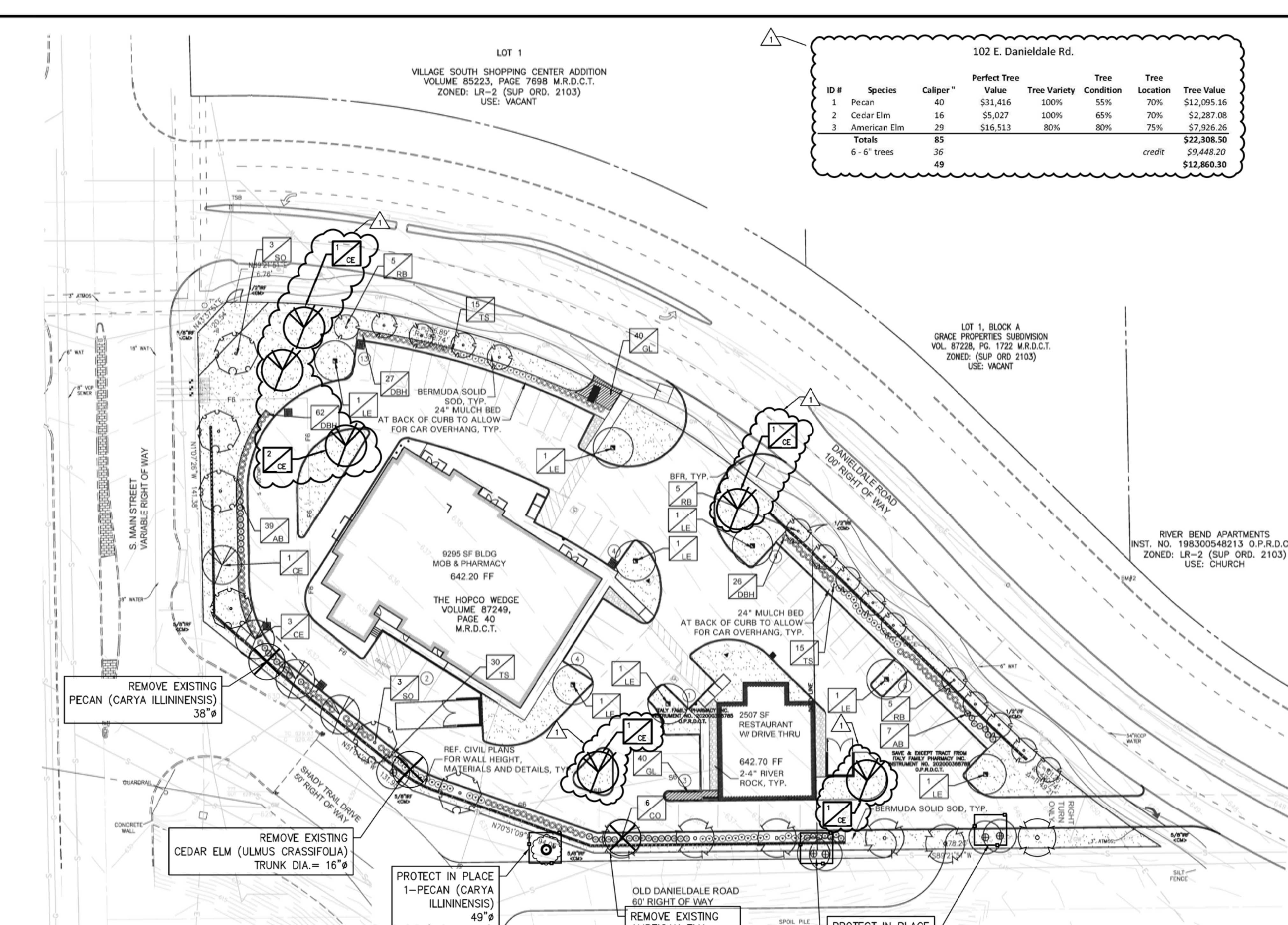
- CONTRACTOR TO VERIFY AND LOCATE ALL PROPOSED AND EXISTING ELEMENTS. NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE FOR ANY LAYOUT DISCREPANCIES OR ANY CONDITION THAT WOULD PROHIBIT THE INSTALLATION AS SHOWN. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
  - CONTRACTOR SHALL CALL 811 TO VERIFY AND LOCATE ANY AND ALL UTILITIES ON SITE PRIOR TO COMMENCING WORK. LANDSCAPE ARCHITECT SHOULD BE NOTIFIED OF ANY CONFLICTS. CONTRACTOR TO EXERCISE EXTREME CAUTION WHEN WORKING NEAR UNDERGROUND UTILITIES.
  - A MINIMUM OF 2% SLOPE SHALL BE PROVIDED AWAY FROM ALL STRUCTURES.
  - CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
  - LANDSCAPE ISLANDS SHALL BE CROWNED, AND UNIFORM THROUGHOUT THE SITE.
  - PLANTING AREAS AND SOD TO BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS, WALKS OR CURBS. EDGING NOT TO BE MORE THAN 1/2" ABOVE FINISHED GRADE. EDGING SHALL BE CUT AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND/OR CURBS.
  - MULCH SHALL BE INSTALLED AT 1/2" BELOW THE TOPS OF SIDEWALKS AND CURBING.
  - QUANTITIES ON THESE PLANS ARE FOR REFERENCE ONLY. THE SPACING OF PLANTS SHOULD BE AS INDICATED ON PLANS OR OTHERWISE NOTED. ALL TREES AND SHRUBS SHALL BE PLANTED PER DETAILS.
  - CONTAINER GROWN PLANT MATERIAL IS PREFERRED HOWEVER BALL AND BURLAP PLANT MATERIAL CAN BE SUBSTITUTED IF NEEDED AND IS APPROPRIATE TO THE SIZE AND QUALITY INDICATED ON THE PLANT MATERIAL LIST.
  - TREES SHALL BE PLANTED AT A MINIMUM OF 6' FROM ANY UTILITY LINE, SIDEWALK OR CURB. TREES SHALL ALSO BE 10' CLEAR FROM FIRE HYDRANTS.
  - 4" OF SHREDDED HARDWOOD MULCH (2" SETTLED THICKNESS) SHALL BE PLACED OVER WEED BARRIER FABRIC. MULCH SHALL BE SHREDDED HARDWOOD MULCH OR APPROVED EQUAL. PINE STRAW MULCH IS PROHIBITED.
  - WEED BARRIER FABRIC SHALL BE USED IN PLANT BEDS AND AROUND ALL TREES AND SHALL BE MIN#1 1405 WEED BARRIER OR APPROVED EQUAL.
  - CONTRACTOR TO PROVIDE UNIT PRICING OF LANDSCAPE MATERIALS AND BE RESPONSIBLE FOR OBTAINING ALL LANDSCAPE AND IRRIGATION PERMITS.
- IRRIGATION**
- ALL REQUIRED LANDSCAPE AREAS SHALL HAVE AN AUTOMATIC IRRIGATION SYSTEM WITH A FREE ZERAM SENSOR. SYSTEM SHALL ALSO HAVE AN ET WEATHER BASED CONTROLLER AND BE DESIGNED AND INSTALLED BY A LICENSED IRRIGATOR.
- MAINTENANCE REQUIREMENTS**
- VEGETATION SHOULD BE INSPECTED REGULARLY TO ENSURE THAT PLANT MATERIAL IS ESTABLISHING PROPERLY AND REMAINS IN A HEALTHY GROWING CONDITION APPROPRIATE FOR THE SEASON. IF DAMAGED OR REMOVED, PLANTS MUST BE REPLACED BY A SIMILAR VARIETY AND SIZE.
  - MOWING, TRIMMING, EDGING AND SUPERVISION OF WATER APPLICATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNTIL THE OWNER OR OWNER'S REPRESENTATIVE ACCEPTS AND ASSUMES REGULAR MAINTENANCE.
  - ALL LANDSCAPE AREAS SHOULD BE CLEANED AND KEPT FREE OF TRASH, DEBRIS, WEEDS AND OTHER MATERIAL.
- MISCELLANEOUS MATERIALS**
- STEEL EDGING SHALL BE 3/16" X 4 X 16' DARK GREEN DURAEDGE STEEL LANDSCAPE EDGING UNLESS NOTED OTHERWISE ON PLANS/DETAILS.
  - RIVER ROCK SHALL BE ARIZONA RIVER ROCK, 2" - 4" DIAMETER. RIVER ROCK SHALL BE COMPACTED TO A MINIMUM OF 3" DEPTH OVER FILTER FABRIC.

LANDSCAPE TABULATIONS for DUNCANVILLE, TX

REQUIRE	PROVIDED
overall landscape	17,279 s.f. (entire site is streetyard)
streetyard landscape	14,899 s.f. (20%)
15' buffer	15' buffer
10' buffer	10' buffer
<b>Old Danieldale Road - 278 I.F.</b>	
7 trees	1 EXISTING, 6 PROPOSED
<b>S. Main Street - 141 I.F.</b>	
4 trees	4 trees
<b>Shady Trail Drive - 223 I.F.</b>	
6 trees	6 PROPOSED
<b>Danieldale Road - 560 I.F.</b>	
14 trees	15 ornamental trees
<b>Parking Lot</b>	
1. One tree shall be provided for every 10 parking spaces.	
2. At least 75 percent of the frontage of parking lots, adjacent to a public right-of-way and within the street yard, shall be screened from public streets with evergreen shrubs attaining a minimum height of three feet	
Parking Area: 38,912 s.f.	
Parking Spaces: 42	
REQUIRE	PROVIDED
4 trees	8 trees
parking lot screen	parking lot screen (entire area of parking abutting ROW)



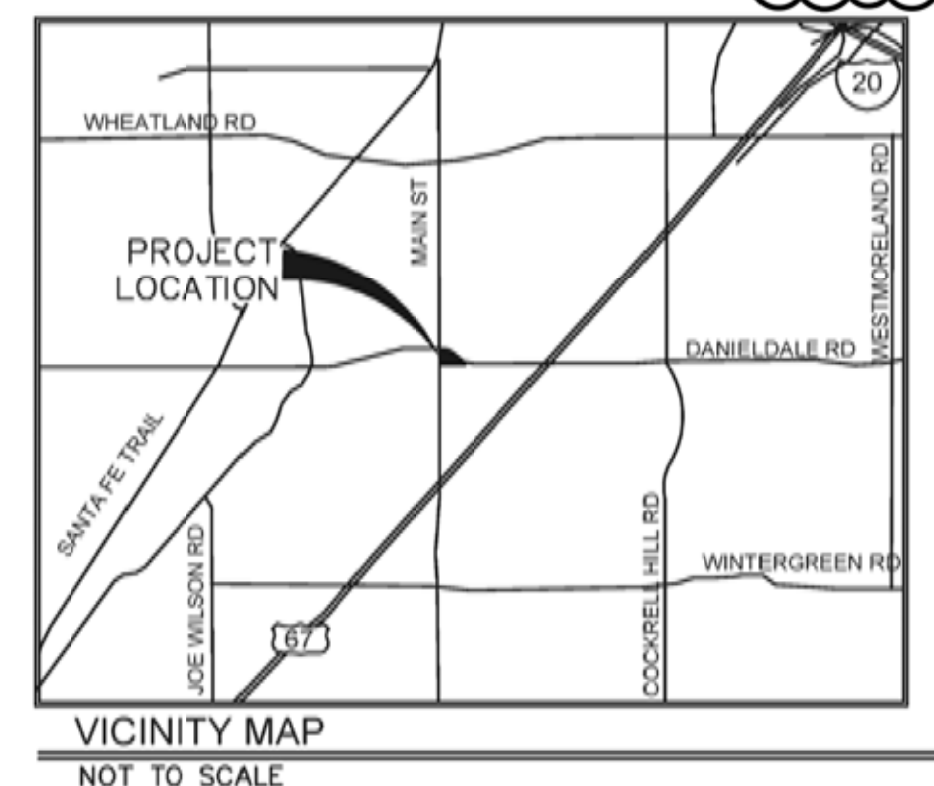
REVISED PLAN BASED ON EXISTING TREE SURVEY 02/08/22



PLANT SCHEDULE

QTY	LABEL	COMMON NAME	SCIENTIFIC NAME	SIZE	NOTES
<b>SHADE TREES</b>					
4	CE	Cedar Elm	<i>Ulmus crassifolia</i>	3" cal.	12' ht., 4' spread, matching
6	CO	Chinkapin Oak	<i>Quercus muhlenbergii</i>	3" cal.	12' ht., 4' spread, matching
8	LE	Lacebark Elm	<i>Ulmus parvifolia 'Sempervirens'</i>	3" cal.	12' ht., 4' spread
8	SO	Shumard Oak	<i>Quercus shumardii</i>	3" cal.	12' ht., 5' spread
<b>ORNAMENTAL TREES</b>					
15	RB	Oklahoma Redbud	<i>Cercis reniformis 'Oklahoma'</i>	30 gal.	8' ht., 4' spread, 3 trunk min.
<b>SHRUBS</b>					
46	AB	Abelia 'Twist of Lime'	<i>Abelia x grandiflora 'Hopley's'</i>	3" ht.	full, 24" spread, 36" o.c.
115	DBH	Dwarf Burford Holly	<i>Ilex comuta 'Burford Nana'</i>	3" ht.	full, 20" spread, 36" o.c.
60	TS	Texas Sage 'Green Cloud'	<i>Leucophyllum frutescens 'Green Cloud'</i>	3" ht.	full, 24" sprd, 36" o.c.
<b>GROUNDCOVER/VINES/GRASS</b>					
80	GL	Giant Liriope	<i>Liriope gigantea</i>	1 gal.	full, 18" o.c.
		Bermuda Solid Sod	<i>Cynodon dactylon</i>		
		2-4" River Rock			

Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. Trees shall have a strong central leader and be of matching specimens. All plant material shall meet or exceed remarks as indicated.



NOT TO SCALE



**LANDSCAPE PLAN**  
THE HOPCO WEDGE  
DUNCANVILLE, DALLAS COUNTY, TX  
OWNER: ITALY FAMILY PHARMACY, INC.  
2549 MARINA DRIVE GRAND PRAIRIE, TX 75054  
CONTACT: ROLAND AYOYKROLS@YAHOO.COM  
ENGINEER: MBW ENGINEERING, LLC  
4924 BOLERO CT FORT WORTH, TX 76135  
CONTACT: MATHEW WILLIAMSON, PE  
MBWENG1@OUTLOOK.COM 817-782-9821  
ORIGINAL SUBMITTAL: MAY 8, 2021  
REVISED: JUNE 11, 2021

SECTION 32 9000 - LANDSCAPE

PART 1 - GENERAL

1.1 QUALIFICATIONS OF THE LANDSCAPE CONTRACTOR.

A. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.

1.2 REFERENCE DOCUMENTS

A. REFER TO LANDSCAPE PLANS, NOTES, SCHEDULES AND DETAILS FOR ADDITIONAL REQUIREMENTS.

1.3 SCOPE OF WORK / DESCRIPTION OF WORK

- A. WORK COVERED BY THESE SPECIFICATIONS INCLUDES: FURNISH ALL SUPERVISIONS, LABOR, MATERIALS, SERVICES, EQUIPMENT AND APPLIANCES REQUIRED TO COMPLETE THE WORK COVERED IN CONJUNCTION WITH THE LANDSCAPING COVERED IN LANDSCAPE PLANS AND SPECIFICATIONS INCLUDING:
  1. BED PREP AND FERTILIZATION
  2. NOTIFICATION OF SOURCES
  3. WATER AND MAINTENANCE UNTIL ACCEPTANCE
  5. GUARANTEE

B. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.

C. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

1.4 REFERENCES

- A. AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY AMERICAN ASSOCIATION OF NURSERYMEN, 27 OCTOBER 1980, EDITION; BY AMERICAN NATIONAL STANDARDS INSTITUTE (Z60-1) - PLANT MATERIAL.
- B. AMERICAN JOINT COMMITTEE ON HORTICULTURE NOMENCLATURE, 1942 EDITION OF STANDARDIZED PLANT NAMES.
- C. TEXAS ASSOCIATION OF NURSERYMEN, GRADES AND STANDARDS.

1.5 SUBMITTALS

- A. PROVIDE REPRESENTATIVE QUANTITIES OF EACH SOIL, MULCH, BED MIX, GRAVEL AND STONE BEFORE INSTALLATION. SAMPLES TO BE APPROVED BY OWNER'S REPRESENTATIVE BEFORE USE.
- B. SOIL AMENDMENTS AND FERTILIZERS SHOULD BE RESEARCHED AND BASED ON THE SOILS IN THE AREA.
- C. BEFORE INSTALLATION, SUBMIT DOCUMENTATION THAT PLANT MATERIALS ARE AVAILABLE AND HAVE BEEN RESERVED, FOR ANY PLANT MATERIAL NOT AVAILABLE, SUBMIT REQUEST FOR SUBSTITUTION.

1.6 JOB CONDITIONS, DELIVERY, STORAGE AND HANDLING

- A. GENERAL CONTRACTOR TO COMPLETE WORK BEFORE LANDSCAPE CONTRACTOR TO COMMENCE.
- B. ALL PLANTING BED AREAS SHALL BE LEFT THREE INCHES BELOW FINAL GRADE ON SIDEWALKS, DRIVES AND CURBS. ALL AREAS TO RECEIVE SOLID SOD SHALL BE LEFT ONE INCH BELOW THE FINAL GRADE OF WALKS, DRIVES AND CURBS. CONSTRUCTION DEBRIS SHALL BE REMOVED PRIOR TO LANDSCAPE CONTRACTOR BEGINNING WORK.
- C. STORAGE OF MATERIALS AND EQUIPMENT AT THE JOB SITE WILL BE AT THE RISK OF THE LANDSCAPE CONTRACTOR. THE OWNER CANNOT BE HELD RESPONSIBLE FOR THEFT OR DAMAGE.

1.7 SEQUENCING

- A. INSTALL TREES, SHRUBS, AND LINER STOCK PLANT MATERIALS PRIOR TO INSTALLATION OF LAWN/SOLID SOD.
- B. WHERE EXISTING TURF AREAS ARE BEING CONVERTED TO PLANTING BEDS, THE TURF SHALL BE CHEMICALLY ERADICATED TO MINIMIZE RE-GROWTH IN THE FUTURE. AREAS SHALL BE PROPERLY PREPARED WITH AMENDED ORGANIC MATTER.

1.8 MAINTENANCE AND GUARANTEE

- A. THE LANDSCAPE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK FROM THE TIME OF PLANTING UNTIL FINAL ACCEPTANCE BY OWNER.
- B. NO TREES, GRASS, GROUNDCOVER OR GRASS WILL BE ACCEPTED UNLESS THEY SHOW HEALTHY GROWTH AND SATISFACTORY FOLIAGE CONDITIONS.
- C. MAINTENANCE SHALL INCLUDE WATERING OF TREES AND PLANTS, CULTIVATION, WEED SPRAYING, EDGING, PRUNING OF TREES, MOWING OF GRASS, CLEANING UP AND ALL OTHER WORK NECESSARY FOR MAINTENANCE.

- D. A WRITTEN NOTICE REQUESTING FINAL INSPECTION AND ACCEPTANCE SHOULD BE SUBMITTED TO THE OWNER AT LEAST 14 DAYS PRIOR TO COMPLETION. AN ON SITE INSPECTION BY THE OWNER'S AUTHORIZED REPRESENTATIVE WILL BE COMPLETED PRIOR TO WRITTEN ACCEPTANCE.
- E. NOTIFY OWNER OR OWNER'S REPRESENTATIVE SEVEN DAYS PRIOR TO THE EXPIRATION OF THE WARRANTY PERIOD.
- F. REMOVE DEAD, UNHEALTHY AND UNSIGHTLY PLANTS DURING WARRANTY PERIOD.
- G. REMOVE GUYING AND STAKING MATERIALS AFTER ONE YEAR.
- H. ALL LANDSCAPE SHALL BE MAINTAINED AND GRASS MOVED/EDGED ON A WEEKLY SCHEDULE UNTIL ACCEPTANCE BY OWNER. REMOVE CLIPPINGS AND DEBRIS FROM SITE PROPERLY.
- I. REMOVE TRASH, DEBRIS AND LITTER. WEAVER, PRUNE, RESTAKE TREES, FERTILIZE, WEED AND APPLY HERBICIDES AND FUNGICIDES AS REQUIRED.
- J. COORDINATE THE OPERATION OF IRRIGATION SYSTEM TO ENSURE THAT PLANTS ARE ADEQUATELY WATERED. HAND WATER AREAS NOT RECEIVING ADEQUATE WATER FROM AN IRRIGATION SYSTEM.
- K. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN ACCORDANCE TO THE MAINTENANCE SERVICE TO ENSURE THE SYSTEM IS IN PROPER WORKING ORDER WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
- L. REAPPLY MULCH TO BARE AND THIN AREAS.
- M. SHOULD SEEDED AND/OR IRRIGATED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF GRASS AT NO ADDITIONAL COST TO THE OWNER.
- N. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
  - a. THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
  - b. ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
  - c. SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2" INCHES BEFORE FIRST MOWING. HYDROMULCHED AREAS SHALL SHOW ACTIVE, HEALTHY GROWTH. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESEEDED OR RESEED AS APPROPRIATE PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOVED.

GUARANTEE:

- A. TREES, SHRUBS, GROUNDCOVER SHALL BE GUARANTEED (IN WRITING) FOR A 12 MONTH PERIOD (90 DAYS FOR PLANTS PLANTED AT THE END OF THE SEASONAL COLOR GROWING SEASON, WHICHEVER COMES SOONER) AFTER FINAL ACCEPTANCE. THE CONTRACTOR SHALL REPLACE ALL DEAD MATERIALS AS SOON AS WEATHER PERMITS AND UPON NOTIFICATION OF THE OWNER.
- B. PLANTS INCLUDING TREES, WHICH HAVE PARTIALLY DIED SO THAT SHAPE, SIZE OR SYMMETRY HAVE BEEN DAMAGED SHALL BE CONSIDERED SUBJECT TO REPLACEMENT. IN SUCH CASES, THE OPINION OF THE OWNER SHALL BE FINAL.
- C. PLANTS USED FOR REPLACEMENT SHALL BE OF THE SAME SIZE AND KIND AS THOSE ORIGINALLY PLANTED OR SPECIFIED. ALL WORK INCLUDING MATERIALS, LABOR AND EQUIPMENT USED IN REPLACEMENTS SHALL CARRY A 12 MONTH GUARANTEE. ANY DAMAGE INCLUDING RUTS IN LAWN OR BED AREAS INCURRED AS A RESULT OF MAKING REPLACEMENTS SHALL BE IMMEDIATELY REPAIRED.
- D. WHEN PLANT REPLACEMENTS ARE MADE, PLANTS, SOIL, MIX, FERTILIZER AND MULCH ARE TO BE UTILIZED AS ORIGINALLY SPECIFIED AND RE-INSPECTED FOR FULL COMPLIANCE WITH THE CONTRACT REQUIREMENTS. ALL REPLACEMENTS ARE INCLUDED UNDER WORK OF THIS SECTION.
- E. THE OWNER AGREES THAT FOR THE ONE YEAR WARRANTY PERIOD TO BE EFFECTIVE, HE WILL WATER PLANTS AT LEAST TWICE A WEEK DURING DRY PERIODS.
- F. THE ABOVE GUARANTEE SHALL NOT APPLY WHERE PLANTS DIE AFTER ACCEPTANCE BECAUSE OF DAMAGE DUE TO ACTS OF GOD, VANDALISM, INSECTS, DISEASE, INJURY BY HUMANS, MACHINES, THEFT OR NEGLIGENCE BY OWNER.
- G. ACCEPTANCE FOR ALL LANDSCAPE WORK SHALL BE GIVEN AFTER FINAL INSPECTION BY THE OWNER PROVIDED THE JOB IS IN COMPLETE, UNDAMAGED CONDITION AND THERE IS A STAND OF GRASS IN ALL LAWN AREAS. AT THAT TIME, THE OWNER WILL ASSUME MAINTENANCE ON THE ACCEPTED WORK.

1.9 QUALITY ASSURANCE

- A. COMPLY WITH ALL FEDERAL, STATE, COUNTY AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK.
- B. EMPLOY PERSONNEL EXPERIENCED AND FAMILIAR WITH THE REQUIRED WORK AND SUPERVISION BY A FOREMAN.

- C. MAKE CONTACT WITH SUPPLIERS IMMEDIATELY UPON OBTAINING NOTICE OF CONTRACT ACCEPTANCE TO SELECT AND BOOK MATERIALS.
- D. DEVELOP A PROGRAM OF MAINTENANCE (PRUNING AND FERTILIZATION) WHICH WILL ENSURE THE PURCHASED MATERIALS WILL MEET AND EXCEED PROJECT SPECIFICATIONS.
- E. DO NOT MAKE PLANT MATERIAL SUBSTITUTIONS. IF THE LANDSCAPE MATERIAL SPECIFIED IS NOT READILY AVAILABLE, SUBMIT PROOF TO LANDSCAPE ARCHITECT ALONG WITH THE PROPOSED MATERIAL TO BE USED IN LIEU OF THE SPECIFIED PLANT.
- F. AT THE TIME BIDS ARE SUBMITTED, THE CONTRACTOR IS ASSUMED TO HAVE LOCATED THE MATERIALS NECESSARY TO COMPLETE THE JOB AS SPECIFIED.
- G. OWNER'S REPRESENTATIVE SHALL INSPECT ALL PLANT MATERIAL AND RETAINS THE RIGHT TO INSPECT MATERIALS UPON ARRIVAL TO THE SITE AND DURING INSTALLATION. THE OWNER'S REPRESENTATIVE MAY ALSO REJECT ANY MATERIALS WHICH FEELS TO BE UNSATISFACTORY OR DEFECTIVE DURING THE WORK PROCESS. ALL PLANTS DAMAGED IN TRANSIT OR AT THE JOB SITE SHALL BE REJECTED.

1.10 PRODUCT DELIVERY, STORAGE AND HANDLING

- A. PREPARATION
  1. BALLED AND BURLAPPED B&B PLANTS; DIG AND PREPARE SHIPMENT IN A MANNER THAT WILL NOT DAMAGE ROOTS, BRANCHES, SHAPE AND FUTURE DEVELOPMENT.
  2. CONTAINER GROWN PLANTS: DELIVER PLANTS IN RIGID CONTAINER TO HOLD BALL SHAPE AND PROTECT ROOT MASS.
- B. DELIVERY
  1. DELIVER PACKAGED MATERIALS IN SEALED CONTAINERS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. PROTECT MATERIALS FROM DETERIORATION DURING DELIVERY AND WHILE STORED ON SITE.
  2. DELIVER ONLY PLANT MATERIALS THAT CAN BE PLANTED IN ONE DAY UNLESS ADEQUATE STORAGE AND WATERING FACILITIES ARE AVAILABLE ON SITE.
  3. PROTECT ROOT BALLS BY HEELING IN WITH SAWDUST OR OTHER APPROVED MOISTURE RETAINING MATERIAL. IF NOT PLANTED WITHIN 24 HOURS OF DELIVERY, COVER WITH PLASTIC TO PREVENT DRYING OF ROOT BALL OR DESICCATION OF LEAVES.
  5. KEEP PLANTS MOIST AT ALL TIMES. COVER ALL MATERIALS DURING TRANSPORT.
  6. NOTIFY OWNER'S REPRESENTATIVE OF DELIVERY 72 HOURS PRIOR TO DELIVERY OF PLANT MATERIAL AT JOB SITE.
  7. REMOVE REJECTED PLANT MATERIAL IMMEDIATELY FROM JOB SITE.
  8. TO AVOID DAMAGE OR STRESS, DO NOT LIFT, MOVE, ADJUST TO PLUMB, OR OTHERWISE MANIPULATE PLANTS BY TRUNK OR STEMS.

PART 2 - PRODUCTS

- 2.1 PLANT MATERIALS
  - A. GENERAL: WELL FORMED NO. 1 GRADE OR BETTER NURSERY GROWN STOCK. LISTED PLANT HEIGHTS ARE FROM TOPS OF FOOT BALLS TO NOMINAL TOPS OF PLANTS. PLANT SPREAD REFERS TO NOMINAL OUTER WIDTH OF THE PLANT NOT THE OUTER LEAF TIPS. PLANTS SHALL BE INDIVIDUALLY APPROVED BY THE OWNER'S REPRESENTATIVE AND THEIR DECISION AS TO THEIR ACCEPTABILITY SHALL BE FINAL.
  - B. QUANTITIES: THE DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY. ANYTHING CALLED FOR ON ONE AND NOT THE OTHER IS AS BINDING AS IF SHOWN AND CALLED FOR ON BOTH. THE PLANT SCHEDULE IS AN AID TO BIDDERS ONLY. CONFIRM ALL QUANTITIES ON PLAN.
  - C. QUANTITIES AND SIZE: PLANT MATERIALS SHALL CONFORM TO THE SIZE GIVEN ON THE PLAN AND SHALL BE HEALTHY, WELL SHAPED, FULL BRANCHED AND WELL ROOTED. SYMMETRY IS ALSO IMPERATIVE. PLANTS SHALL BE FREE FROM INSECTS, INJURY, DISEASE, BROKEN BRANCHES, DISFIGUREMENTS, INSECT EGGS AND ARE TO BE OF SPECIMEN QUALITY.
  - D. APPROVAL: ALL PLANTS WHICH ARE FOUND UNSUITABLE IN GROWTH OR ARE UNHEALTHY, BADLY SHAPED OR UNDERSIZED WILL BE REJECTED BY THE OWNER'S REPRESENTATIVE EITHER BEFORE OR AFTER PLANTING AND SHALL BE REMOVED AT THE EXPENSE OF THE LANDSCAPE CONTRACTOR AND REPLACED WITH ACCEPTABLE SPECIMENS.
  - E. TREES SHALL BE HEALTHY, FULL BRANCHED, WELL SHAPED AND SHALL MEET THE MINIMUM REQUIREMENTS AS SPECIFIED ON THE PLANT SCHEDULE. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE IF POSSIBLE, AND WITH SIMILAR CLIMATIC CONDITIONS.
  - F. PRUNING: ALL PRUNING OF TREES AND SHRUBS SHALL BE EXECUTED BY THE LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER, PRIOR TO FINAL ACCEPTANCE.
  - G. PLANTS SHALL CONFORM TO THE MEASUREMENTS SPECIFIED, EXCEPT THE PLANTS LARGER THAN THOSE SPECIFIED MAY BE USED. USE OF LARGER PLANTS SHALL NOT INCREASE THE CONTRACT PRICE.

- H. WHERE MATERIALS ARE PLANTED IN MASSES, PROVIDE PLANTS OF UNIFORM SIZE.
- I. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED, FIBROUS ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCRUSTING AND/OR GIRDLING WHICH WILL ENSURE THE PURCHASED MATERIALS WILL MEET AND EXCEED PROJECT SPECIFICATIONS.
- J. ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
- K. TREE TRUNKS TO BE STURDY, EXHIBIT HARDENED SYSTEMS AND VIGOROUS AND FIBROUS ROOT SYSTEMS, NOT ROOT OR POT BOUND.
- L. TREES WITH DAMAGED OR CROOKED LEADERS, BARK ABRASIONS, SUNSCALD, DISFIGURING KNOTS, OR INSECT DAMAGE WILL BE REJECTED.
- M. CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
- N. MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL.
- O. ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
- P. SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD.

2.2 SOIL PREPARATION MATERIALS

- A. SANDY LOAM:
  1. FRIABLE, FERTILE, DARK, LOAMY SOIL, FREE OF CLAY LUMPS, SUBSOIL, STONES AND OTHER EXTRANEOUS MATERIAL AND REASONABLY FREE OF WEEDS AND FOREIGN GASSES. LOAM CONTAINING DALLASGRASS OR NUTGRASS SHALL BE REJECTED.
  2. PHYSICAL PROPERTIES AS FOLLOWS:
    - a. CLAY - BETWEEN 7-27%
    - b. SILT - BETWEEN 15-52%
    - c. SAND - LESS THAN 52%
  3. ORGANIC MATTER SHALL BE 3%-10% OF TOTAL DRY WEIGHT.
  4. IF REQUESTED, LANDSCAPE CONTRACTOR SHALL PROVIDE A CERTIFIED SOIL ANALYSIS CONDUCTED BY AN APPROVED SOIL TESTING LABORATORY VERIFYING THAT SANDY LOAM MEETS THE ABOVE REQUIREMENTS.

2.3 MISCELLANEOUS MATERIALS

- A. STEEL EDGING - SHALL BE 3/16" X 4" X 16" DARK GREEN LANDSCAPE EDGING, CURVED STEEL OR APPROVED EQUAL.
- B. TREE STAKING - TREE STAKING SOLUTIONS OR APPROVED SUBSTITUTE; REFER TO DETAILS.
- C. REFER FABRIC - MIRAFI 1405 BY MIRAFI INC. OR APPROVED SUBSTITUTE, AVAILABLE AT LONE STAR PRODUCTS, INC. (866-526-0444).
- D. SAND - UNIFORMLY GRADED, WASHED, CLEAN, BANK RUN SAND.
- E. GRAVEL - WASHED NATIVE PEA GRAVEL, GRADED 1" TO 1.5".
- F. DECOMPOSED GRANITE - BASE MATERIAL OF NATURAL MATERIAL MIX OF GRANITE AGGREGATE NOT TO EXCEED 1/8" IN DIAMETER COMPOSED OF VARIOUS STAGES OF DECOMPOSED EARTH BASE.
- G. RIVER ROCK - LOCALLY AVAILABLE NATIVE RIVER ROCK BETWEEN 2'-4" IN DIAMETER.
- H. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

- I. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED, FIBROUS ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCRUSTING AND/OR GIRDLING WHICH WILL ENSURE THE PURCHASED MATERIALS WILL MEET AND EXCEED PROJECT SPECIFICATIONS.
- J. ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
- K. TREE TRUNKS TO BE STURDY, EXHIBIT HARDENED SYSTEMS AND VIGOROUS AND FIBROUS ROOT SYSTEMS, NOT ROOT OR POT BOUND.
- L. TREES WITH DAMAGED OR CROOKED LEADERS, BARK ABRASIONS, SUNSCALD, DISFIGURING KNOTS, OR INSECT DAMAGE WILL BE REJECTED.
- M. CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
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- P. SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD.

PART 3 - EXECUTION

3.1 PREPARATION

- A. LANDSCAPE CONTRACTOR TO INSPECT ALL EXISTING CONDITIONS AND REPORT ANY DEFICIENCIES TO THE OWNER.
- B. ALL PLANTING AREAS SHALL BE CONDITIONED AS FOLLOWS:
  1. PREPARE NEW PLANTING BEDS BY SCRAPING AWAY EXISTING GRASS AND WEEDS AS NECESSARY. TILL EXISTING SOIL TO A DEPTH OF SIX (6") INCHES PRIOR TO PLACING COMPOST AND FERTILIZER. APPLY FERTILIZER AS PER MANUFACTURER'S RECOMMENDATIONS. ADD SIX (6") INCHES OF COMPOST AND TILL INTO A DEPTH OF SIX (6") INCHES OF SPECIFIED MULCH (SETTLED THICKNESS).
  2. BACKFILL FOR TREE PITS SHALL BE AS FOLLOWS: USE EXISTING TOP SOIL ON SITE (USE IMPORTED TOPSOIL AS NEEDED) FREE FROM LARGE CLUMPS, ROCKS, DEBRIS, CALICHE, SUBSOILS, ETC., PLACED IN NINE (9") INCH LAYERS AND WATERED IN THOROUGHLY.
- C. GRASS AREAS:
  1. BLOCKS OF SOD SHOULD BE LAID JOINT TO JOINT (STAGGERED JOINTS) AFTER FERTILIZING THE GROUND FIRST. ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE. THE JOINTS BETWEEN THE BLOCKS OF SOD SHOULD BE FILLED WITH TOPSOIL WHERE THEY ARE GAPED OPEN, THEN WATERED THOROUGHLY.

3.2 INSTALLATION

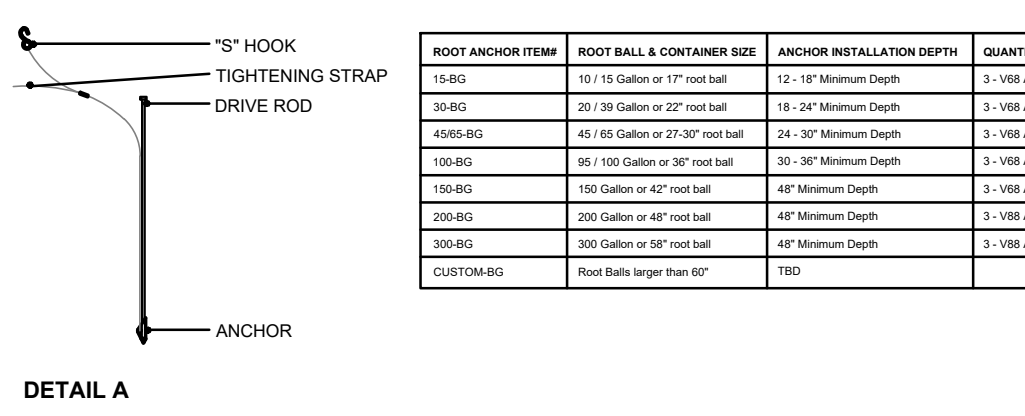
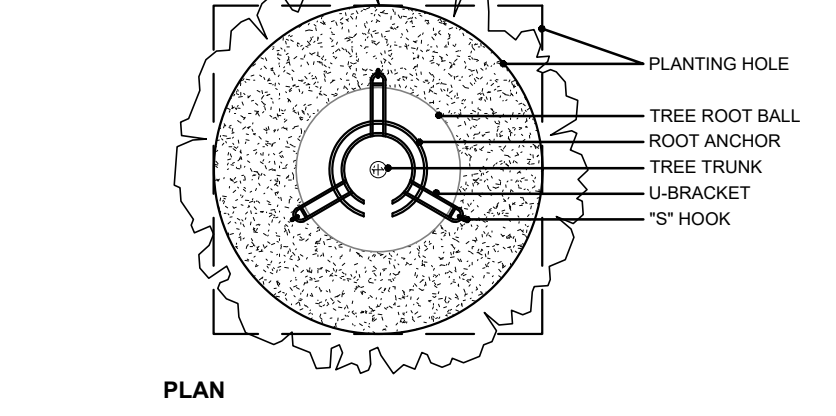
- A. MAINTENANCE OF PLANT MATERIALS SHALL BEGIN IMMEDIATELY AFTER EACH PLANT IS DELIVERED TO THE SITE AND SHALL CONTINUE UNTIL ALL CONSTRUCTION HAS BEEN SATISFACTORILY ACCOMPLISHED.
- B. PLANT MATERIALS SHALL BE DELIVERED TO THE SITE ONLY AFTER THE BEDS ARE PREPARED AND AREAS ARE READY FOR PLANTING. ALL SHIPMENTS OF NURSERY MATERIALS SHALL BE THOROUGHLY PROTECTED FROM THE WINDS DURING TRANSIT. ALL PLANTS WHICH CANNOT BE PLANTED AT ONCE, AFTER DELIVERY TO THE SITE, SHALL BE WELL PROTECTED AGAINST THE POSSIBILITY OF DRYING BY WIND AND BALLS OF EARTH. TOPS OF B&B PLANTS SHALL BE KEPT COVERED WITH SOIL OR OTHER ACCEPTABLE MATERIAL. ALL PLANTS REMAIN THE PROPERTY OF THE CONTRACTOR UNTIL FINAL ACCEPTANCE.
- C. POSITION THE TREES AND SHRUBS IN THEIR INTENDED LOCATION AS PER PLAN.
- D. NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE FOR INSPECTION AND APPROVAL OF ALL POSITIONING OF PLANT MATERIALS.
- E. EXCAVATE PITS WITH ADEQUATE VERTICAL SIDES AND HORIZONTAL BOTTOM. TREE PITS SHALL BE LARGE ENOUGH TO PERMIT HANDLING AND PLANTING WITHOUT INJURY TO BALLS OF EARTH OR ROOTS AND SHALL BE OF SUCH DEPTH THAT WHEN PLANTED AND SETTLED, THE CROWN OF THE PLANT SHALL BEAR THE SAME RELATIONSHIP TO THE FINISH GRADE AS IT DID TO SOIL SURFACE IN ORIGINAL PLACE OF GROWTH. THE SIDES OF THE HOLES SHOULD BE ROUGH AND JAGGED, NEVER SMOOTH OR GLAZED.
- F. SHRUB AND TREE PITS SHALL BE NO LESS THAN TWENTY-FOUR (24") INCHES WIDER THAN THE LATERAL DIMENSION OF THE EARTH BALL AND SIX (6") INCHES DEEPER THAN ITS VERTICAL DIMENSION. REMOVE AND HAUL FROM SITE ALL ROCKS AND STONES OVER THREE-QUARTER (3/4") INCH IN DIAMETER. PLANTS SHOULD BE THOROUGHLY MOIST BEFORE REMOVING CONTAINERS.
- G. PERCOLATION TEST: FILL THE HOLE WITH WATER. IF THE WATER LEVEL DOES NOT RISE WITHIN 24 HOURS, THE TREE NEEDS TO MOVE TO ANOTHER LOCATION OR HAVE DRAINAGE ADDED. INSTALL A PVC DRAIN PIPE PER TREE IF THE PERCOLATION TEST FAILS.
- H. BACKFILL ONLY WITH 5 PARTS EXISTING SOIL OR SANDY LOAM AND 1 PART BED PREPARATION. WHEN THE HOLE IS DUG IN SOLID ROCK, TOPSOIL FROM THE SAME AREA SHOULD NOT BE USED. CAREFULLY SETTLE BY WATERING TO PREVENT AIR POCKETS. REMOVE THE BURLAP FROM THE TOP 1/2 OF THE BALL AS WELL AS ALL NYLON, PLASTIC STRING AND WIRE. CONTAINER TREES WILL USUALLY BE ROOT BOUND. IF SO FOLLOW STANDARD NURSERY PRACTICE OF "ROOT SCORING".
- I. DO NOT WRAP TREES.
- J. DO NOT OVER PRUNE.
- K. REMOVE NURSERY TAGS AND STAKES FROM ALL PLANTS.
- L. REMOVE BOTTOM OF PLANT BOXES PRIOR TO PLACING PLANTS. REMOVE SIDES AFTER PLACEMENT AND PARTIAL BACKFILLING.

- M. REMOVE UPPER THIRD OF BURLAP FROM BALLED AND BURLAPPED TREES AFTER PLACEMENT.
- N. PLACE PLANT UPRIGHT AND PLUMB IN CENTER OF HOLE. ORIENT PLANTS FOR BEST APPEARANCE.
- O. MULCH THE TOP OF THE BALL. DO NOT PLANT GRASS ALL THE WAY TO THE TRUNK OF THE TREE. LEAVE THE AREA ABOVE THE TOP OF THE BALL AND MULCH WITH AT LEAST TWO (2") INCHES OF SPECIFIED MULCH.
- P. ALL PLANT BEDS AND TREES TO BE MULCHED WITH A MINIMUM SETTLED THICKNESS OF TWO (2") INCHES OVER THE ENTIRE BED OR PIT.
- Q. OBSTRUCTION BELOW GROUND: IN THE EVENT THAT ROCK, OR UNDERGROUND CONSTRUCTION WORK OR OBSTRUCTIONS ARE ENCOUNTERED IN ANY PLANT PIT EXCAVATION WORK TO BE DONE UNDER THIS SECTION, ALTERNATE LOCATIONS MAY BE SELECTED BY THE OWNER. WHERE LOCATIONS CANNOT BE CHANGED, THE OBSTRUCTIONS SHALL BE REMOVED TO A DEPTH OF NOT LESS THAN THREE (3) FEET BELOW GRADE AND NO LESS THAN SIX (6") INCHES BELOW THE BOTTOM OF BALL WHEN PLANT IS PROPERLY SET AT THE REQUIRED GRADE. THE WORK OF THIS SECTION SHALL INCLUDE THE REMOVAL FROM THE SITE OF SUCH ROCK OR UNDERGROUND OBSTRUCTIONS ENCOUNTERED AT THE COST OF THE LANDSCAPE CONTRACTOR.
- R. TREES AND LARGE SHRUBS SHALL BE STAKED AS SITE CONDITIONS REQUIRE. POSITION STAKES TO SECURE TREES AGAINST SEASONAL PREVAILING WINDS.
- S. PRUNING AND MULCHING: PRUNING SHALL BE DIRECTED BY THE LANDSCAPE ARCHITECT AND SHALL BE PRUNED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE FOLLOWING FINE PRUNING. CLASS I PRUNING STANDARDS PROVIDED BY THE NATIONAL ARBONIST ASSOCIATION.
  1. DEAD WOOD, SUCKERS, BROKEN AND BADLY BRUISED BRANCHES SHALL BE REMOVED. GENERAL TIPS OF THE BRANCHES IS NOT PERMITTED. DO NOT CUT TERMINAL BRANCHES.
  2. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS.
  3. IMMEDIATELY AFTER PLANTING OPERATIONS ARE COMPLETED, ALL TREE PITS SHALL BE COVERED WITH A LAYER OF ORGANIC MATERIAL TWO (2") INCHES IN DEPTH. THIS LIMIT OF THE ORGANIC MATERIAL FOR TREE SHALL BE THE DIAMETER OF THE PLANT PIT.
- D. STEEL EDGE INSTALLATION: EDGE SHALL BE ALIGNED AS INDICATED ON PLANS. STAKE OUT LIMITS OF STEEL CURBING AND OBTAIN OWNER'S APPROVAL PRIOR TO INSTALLATION.
  1. ALL STEEL CURBING SHALL BE FREE OF KINKS AND ABRUPT BENDS.
  2. TOP OF EDGING SHALL BE 1/2" MAXIMUM HEIGHT ABOVE FINAL FINISHED GRADE.
  3. STAKES ARE TO BE INSTALLED ON THE PLANTING BED SIDE OF THE CURBING, AS OPPOSED TO THE GRASS SIDE.
  4. DO NOT INSTALL STEEL EDGING ALONG SIDEWALKS OR CURBS.
  5. CUT STEEL EDGING AT 45 DEGREE ANGLE WHERE EDGING MEETS SIDEWALKS OR CURBS.

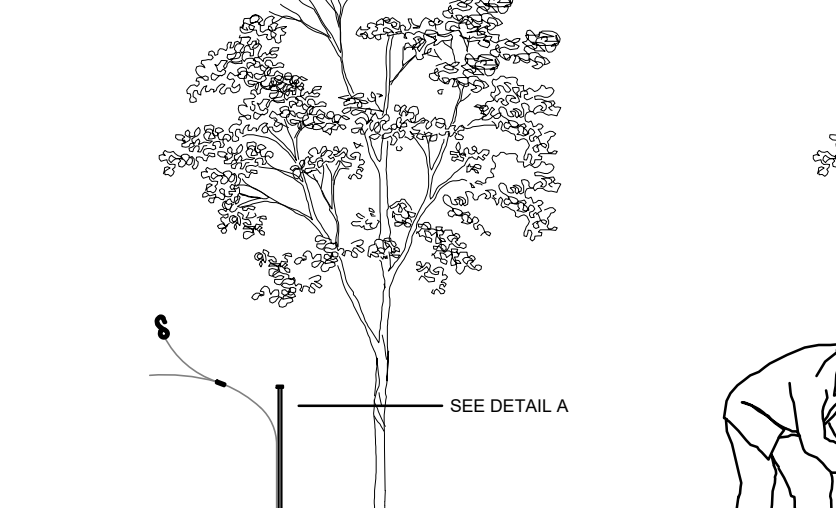
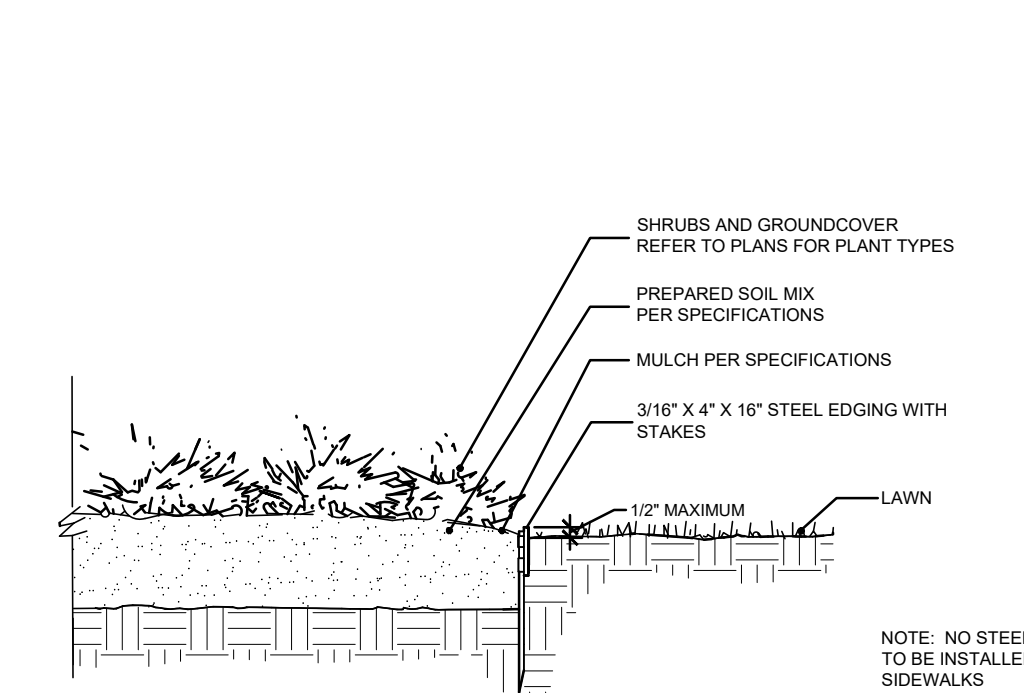
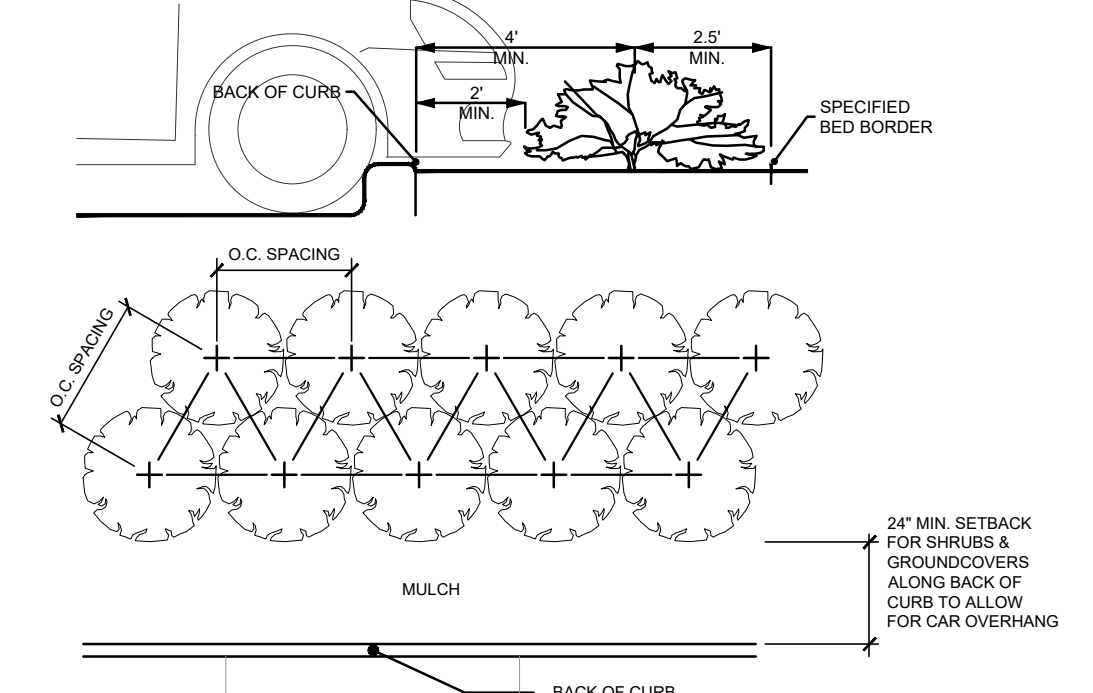
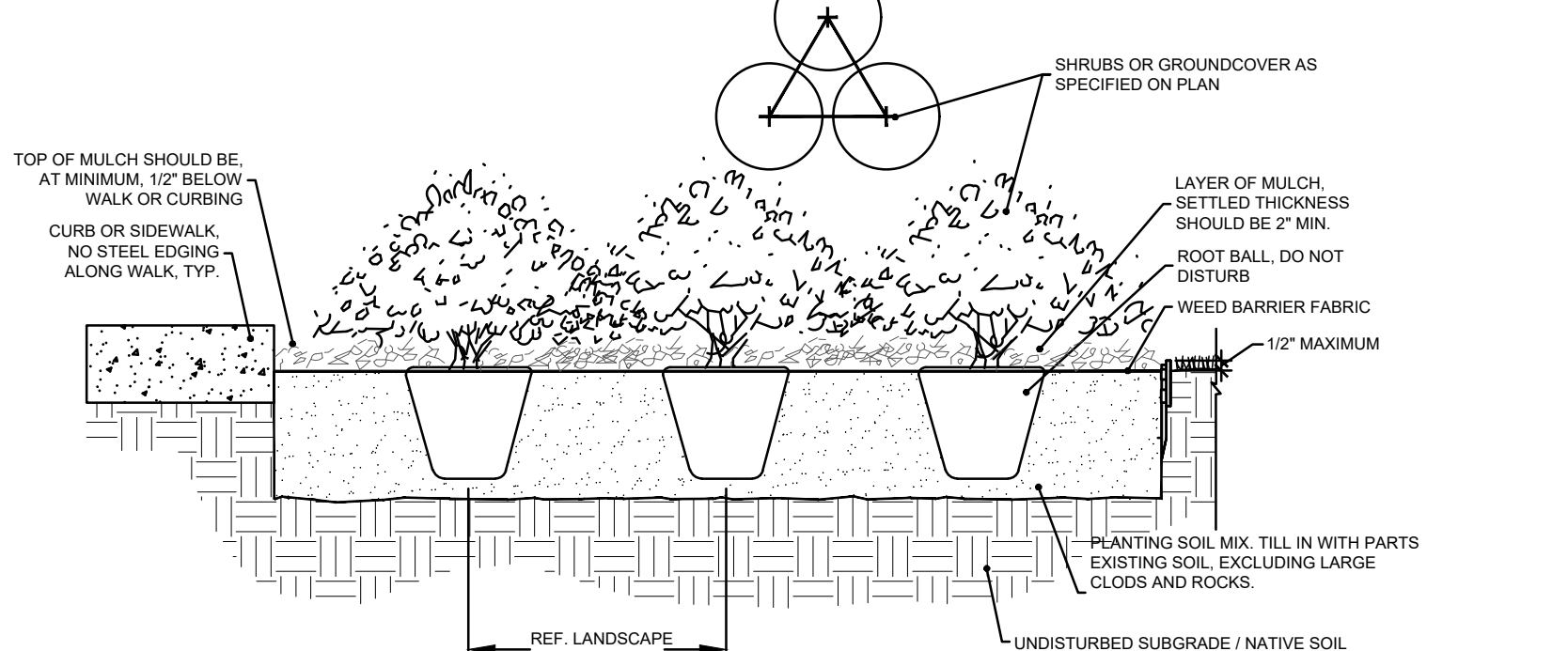
3.3 CLEANUP AND ACCEPTANCE

- A. CLEANUP: DURING THE WORK, THE PREMISES SHALL BE KEPT NEAT AND ORDERLY AT ALL TIMES. STORAGE AREAS FOR ALL MATERIALS SHALL BE SO ORGANIZED SO THAT THEY, TOO, ARE NEAT AND ORDERLY. ALL TRASH AND DEBRIS SHALL BE REMOVED FROM THE SITE AS WORK PROGRESSES. KEEP PAVED AREAS CLEAN BY SWEEPING OR HOISING THEM AT END OF EACH WORK DAY.
- B. REPAIR RUTS, HOLES AND SCARES IN GROUND SURFACES.
- C. ENSURE THAT WEEDY GROWING AND PLANT MATERIALS ARE IN VIGOROUS AND HEALTHY GROWING CONDITION.
- D. UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
- E. WHENIF THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
- F. THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE AT THAT TIME. A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.

END OF SECTION



ROOT ANCHOR ITEM	ROOT BALL & CONTAINER SIZE	ANCHOR INSTALLATION DEPTH	QUANTITY & ANCHOR SIZE
150-85	10 1/4 Galon (17" root ball)	12" - 18" Minimum Depth	3 - V8S Anchor
300-85	20 1/4 Galon (27" root ball)	18" - 24" Minimum Depth	3 - V8S Anchor
450-85	40 1/4 Galon (54" root ball)	24" - 30" Minimum Depth	3 - V8S Anchor
150-85	10 1/4 Galon (17" root ball)	12" - 18" Minimum Depth	3 - V8S Anchor
300-85	20 1/4 Galon (27" root ball)	18" - 24" Minimum Depth	3 - V8S Anchor
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2 SHRUB PLANTING

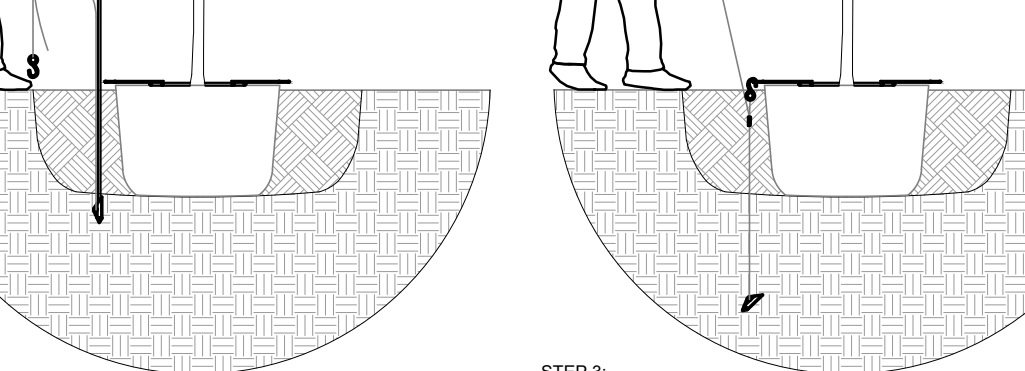
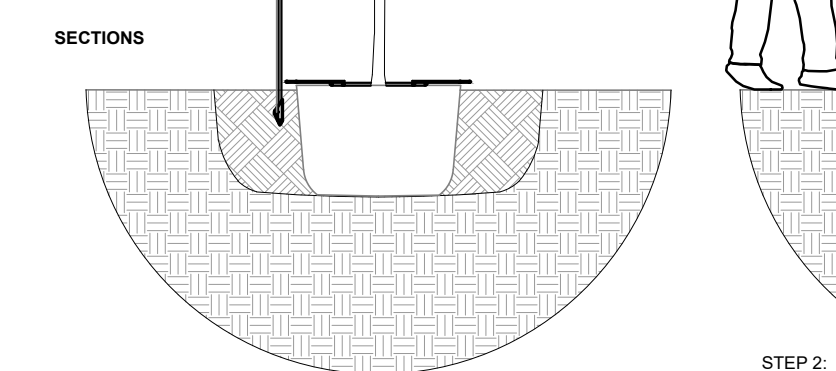
N.T.S.

3 SHRUB SPACING AND PLANTING AT B.O.C.

N.T.S.

4 STEEL EDGING DETAIL

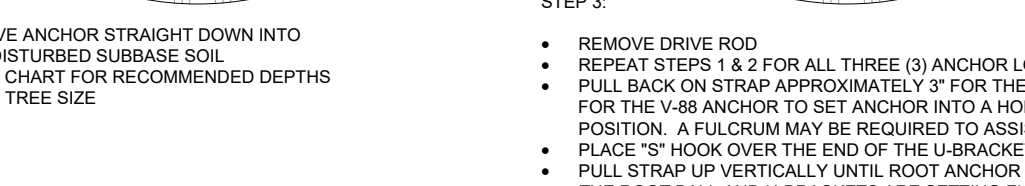
N.T.S.



5 DECOMPOSED GRANITE / RIVER ROCK

N.T.S.

- STEP 1:
  - SET TREE IN PLANTING PIT
  - PLACE ANCHOR WITH RING SIDE DOWN AGAINST TOP OF ROOT BALL
  - CENTER ROOT ANCHORS INNER RINGS) AROUND TRUNK OF TREE
  - ALIGN DRIVE ROD AS CLOSE AS POSSIBLE TO OUTSIDE EDGE OF U-BRACKET
- STEP 2:
  - DRIVE ANCHOR STRAIGHT DOWN INTO UNDISTURBED SUBGRADE SOIL
  - SEE CHART FOR RECOMMENDED DEPTHS PER TREE SIZE
- STEP 3:
  - REMOVE DRIVE ROD
  - REPEAT STEPS 1 & 2 FOR ALL THREE (3) ANCHOR LOCATIONS
  - PULL BACK ON STRAP APPROXIMATELY 3" FOR THE V-8S ANCHOR TO SET ANCHOR INTO A HORIZONTAL OR LOCKED POSITION. A FULL CORD MAY BE REQUIRED TO ASSIST IN SETTING THE ANCHOR.
  - PLACE "S" HOOK OVER THE END OF THE U-BRACKET
  - PULL STRAP UP VERTICALLY UNTIL ROOT ANCHOR RINGS BITE INTO THE TOP OF THE ROOT BALL AND U-BRACKET IS SETTING FLUSH ON TOP OF THE ROOT BALL
  - RE-ACCESS STRAP OFF TO THE U-BRACKET ALLOWING ENOUGH REMAINING STRAP TO ADJUST TREE, IF NECESSARY



VOLUME 85223, PAGE 7698 M.R.D.C.T.  
ZONED: LR-2 (SUP ORD. 2103)  
USE: VACANT

LOT 1, BLOCK A  
GRACE PROPERTIES SUBDIVISION  
VOL. 87228, PG. 1722 M.R.D.C.T.  
ZONED: (SUP ORD 2103)  
USE: VACANT

RIVER BEND APARTMENTS  
INST. NO. 198300548213 O.P.R.D.C.T.  
ZONED: LR-2 (SUP ORD. 2103)  
USE: CHURCH

9295 SF BLDG  
MOB & PHARMACY

THE HOPCO WEDGE  
VOLUME 67249,  
PAGE 40  
M.R.D.C.T.

2507 SF  
RESTAURANT  
W/ DRIVE THRU

OLD DANIELDALE ROAD  
60' RIGHT OF WAY

**SLEEVING NOTES**

1. PIPING AND CONTROL WIRES SHALL BE INSTALLED IN SEPARATE SLEEVES UNDER PAVING. REFERENCE DRAWINGS FOR SLEEVE SIZE AND LOCATION.
2. SLEEVES SHALL BE FURNISHED AND INSTALLED BY GENERAL CONTRACTOR.
3. INSTALLATION OF SLEEVES SHALL BE TWENTY - FOUR (24) BELOW TOP OF PAVEMENT OR FINISHED GRADE.
4. SLEEVES SHALL EXTEND ONE (1) FOOT BEYOND EDGE OF ALL PAVEMENT AND STAKED FOR LOCATION.
5. ALL SLEEVES SHALL BE SCHEDULE 40 PVC PIPE, CAPPED ON BOTH ENDS AND SIZED AT LEAST TWO TIMES LARGER THAN THE DIAMETER OF THE PIPE INSIDE THE SLEEVE.
6. SLEEVE LOCATIONS SHALL BE MARKED ONTO THE CURB WITH A SAWCUT OF TWO PARALLEL LINES THAT ARE TWO (2) INCHES LONG AND ONE (1) APART.
7. CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF SLEEVES AND SHALL ALSO BE RESPONSIBLE FOR LOCATING ANY SLEEVE THAT CANNOT BE FOUND DURING THE INSTALLATION OF THE SYSTEM.
8. CONTRACTOR SHALL FURNISH OWNER AND IRRIGATION CONTRACTOR WITH AN 'AS-BUILT' DRAWING SHOWING ALL SLEEVE LOCATIONS.

**IRRIGATION GENERAL NOTES**

1. THE IRRIGATION CONTRACTOR SHALL COORDINATE INSTALLATION OF THE IRRIGATION SYSTEM WITH THE LANDSCAPE CONTRACTOR SO THAT ALL PLANT MATERIAL WILL BE WATERED IN ACCORDANCE WITH THE INTENT OF THE PLANS AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY THE IRRIGATION DESIGNER OF SITE CONDITIONS OR ASSUME FULL RESPONSIBILITY FOR ANY AND ALL ON SITE REVISIONS NECESSARY.
3. CONTRACTOR TO VERIFY DESIGN AND ITS INTENT TO PROVIDE FULL COVERAGE TO ALL NEW PLANTING MATERIAL.
4. NOTIFY IRRIGATION DESIGNER OF ANY LAYOUT DISCREPANCIES PRIOR TO BIDDING.
5. LOCATE ALL UTILITIES AND SITE LIGHTING CONDUITS BEFORE IRRIGATION INSTALLATION BEGINS.
6. IRRIGATION CONTRACTOR TO PROCURE ALL PERMITS, LICENSES AND GIVE ALL NECESSARY NOTICES THROUGHOUT THE DURATION OF THE PROJECT.
7. THE CONTRACTOR SHALL BE A REGISTERED LICENSED IRRIGATOR IN GOOD STANDING WITH THE STATE OF TEXAS BOARDS AND REGULATORS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL PLANT MATERIAL UPON ACCEPTANCE AND THROUGH THE WARRANTY PERIOD FOR DAMAGE DUE TO IRRIGATION SYSTEM FAILURE.
9. ALL ASPECTS OF THE IRRIGATION INSTALLATION SHALL CONFORM WITH THE PROPER GOVERNING AUTHORITIES, CODES AND ORDINANCES.
10. SLEEVES SHALL BE FURNISHED AND INSTALLED BY GENERAL CONTRACTOR. SLEEVE MATERIAL SHALL BE SCHEDULE 40. SIZE AS INDICATED ON PLAN. REFER TO SLEEVING NOTES.
11. ALL MAIN LINE AND LATERAL LINE PIPING IN PLANTING AND LAWN AREAS SHALL HAVE A MINIMUM OF 12 INCHES OF COVER. ALL PIPING UNDER PAVING SHALL HAVE A MINIMUM OF 18 INCHES OF COVER. CONTRACTOR TO VERIFY LOCAL FREEZE DEPTHS AND ADJUST DEPTH OF COVER ACCORDINGLY.
12. ZONE VALVES SHALL NOT BE LOCATED WITHIN THREE (3) FEET OF ANY DRIVEWAY, TRAFFIC AISLE, ISLAND ETC. WHERE THEY WILL BE DAMAGED BY VEHICLES DRIVING OVER CURBS.
13. ALL NOZZLES IN PARKING LOT ISLANDS AND PLANTING BEDS SHALL BE LOW ANGLE NOZZLES TO MINIMIZE OVER SPRAY ON PAVEMENT SURFACES.
14. AUTOMATIC CONTROLLER SHALL BE INSTALLED AT LOCATION SHOWN. POWER (120V) SHALL BE LOCATED IN A JUNCTION BOX WITHIN FIVE (5) FEET OF CONTROLLER. LOCATION BY OTHER TRADES. RAIN AND FREEZE SENSORS SHALL BE INSTALLED WITH EACH CONTROLLER.
15. ELECTRICAL SPICES SHOULD BE LOCATED AT EACH VALVE AND CONTROLLER ONLY.
16. PROVIDE A 3/4" BLOW DOWN DRAIN TEE TO ALLOW WATER TO BE BLOWN FROM THE IRRIGATION LINES SYSTEM.
17. DISTURBED AREAS IN NEED OF TURF ESTABLISHMENT MAY EXIST BEYOND COVERAGE LIMITS OF THE PERMANENT IRRIGATION SYSTEM. IN THESE AREAS, CONTRACTOR TO DETERMINE A TEMPORARY MEANS TO ESTABLISH NECESSARY TURF. CONTRACTOR IS ENCOURAGED TO BEGIN TURF ESTABLISHMENT IMMEDIATELY UPON FINAL GRADE IN ACCORDANCE WITH AND TO SATISFY SWPPP.
18. PROVIDE WITH OWNER A COPY OF ALL INSTALLED EQUIPMENT AND LINES (AS BUILT PLANS).
19. PLACE COPY OF ZONE MAP WITH ALL ZONE VALVE LOCATIONS SHOWN AND APPROVED IRRIGATION PLAN IN PROTECTIVE JACKET IN MAIN CONTROL PANEL.
20. IRRIGATION IN TEXAS IS REGULATED BY:  
THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ)  
MC-178 / PO BOX 13087  
AUSTIN, TEXAS 78711-3087  
WWW.TCEQ.STATE.TX.US

**IRRIGATION PROJECT NOTES**

1. THE LOCATION OF MAINLINE AND VALVES ON THIS PLAN MAY BE SHOWN IN PAVED AREAS FOR DESIGN CLARITY ONLY. IRRIGATION ELEMENTS HAVE BEEN SHOWN ON THIS PLAN AS ACCURATELY AS POSSIBLE WITHOUT THE FORFEIT OF DESIGN CLARITY AND INTENT. ALL PIPES AND VALVES SHALL BE INSTALLED WITHIN PREVIOUS AREAS. ALL PIPE AND WIRES THAT CROSS UNDER PAVING SHALL BE INSTALLED IN SEPARATE SLEEVES AS SPECIFIED.
2. ALL SPRINKLER EQUIPMENT NUMBERS REFERENCE THE HUNTER EQUIPMENT CATALOG UNLESS OTHERWISE INDICATED.
3. TEN DAYS PRIOR TO START OF CONSTRUCTION, IRRIGATION CONTRACTOR SHALL VERIFY STATIC WATER PRESSURE. THE IRRIGATION SYSTEM FOR THIS SITE IS DESIGNED TO OPERATE WITH A PRESSURE OF SIXTY (60) POUNDS PER SQUARE INCH. SHOULD THE DESIGN PRESSURE FOR THE SYSTEM BE HIGHER THAN THE EXISTING PRESSURE, THE IRRIGATION CONTRACTOR SHALL NOTIFY THE IRRIGATION DESIGNER IMMEDIATELY.
4. IRRIGATION CONTRACTOR SHALL COORDINATE THE LOCATION OF THE CONTROLLER AND SENSORS WITH THE GENERAL CONTRACTOR AND OWNER. A 110 VOLT ELECTRICAL SERVICE TO POWER THE IRRIGATION CONTROLLER SHALL BE PROVIDED BY THE GENERAL CONTRACTOR AT THE LOCATION SHOWN ON THIS PLAN.
5. WATER SERVICE TAP, METER AND LEAD FOR THE IRRIGATION SYSTEM SHALL BE PROVIDED AND INSTALLED BY THE GENERAL CONTRACTOR. SERVICE LINE AND METER SHALL BE SIZED AS NOTED ON THIS PLAN.
6. TYPE AND INSTALLATION OF THE WATER METER AND BACK FLOW PREVENTION DEVICE SHALL BE DETERMINED BY THE GOVERNING AUTHORITY. AN ISOLATION VALVE SHALL BE PROVIDED BETWEEN THE WATER METER AND BACK FLOW DEVICE.
7. ALL CALCULATIONS FOR THIS IRRIGATION SYSTEM ARE BASED ON PRODUCTS AND EQUIPMENT INFORMATION PROVIDED BY HUNTER. INSTALLATION OF THESE PRODUCTS SHALL NOT EXCEED MANUFACTURERS RECOMMENDATIONS.
8. REFERENCE HUNTER GUIDELINES AND SPECIFICATIONS PRIOR TO INSTALLATION. CONFIRM REQUIREMENTS FOR CONTROLLER, WATERPROOF CONNECTIONS, GROUND SURGE PROTECTORS, DECODERS, VALVES, AND WIRING PRIOR TO INSTALLATION. HUNTER TECHNICAL SERVICES (760) 591-7383. WWW.HUNTERINDUSTRIES.COM
9. SPRAY HEADS LOCATED IN TURF AREAS SHALL BE HUNTER PROS-04-PRS30 SPRAY BODIES WITH PRO ADJUSTABLE NOZZLES, FIXED ARC NOZZLES, AND STRIP PATTERN NOZZLES RATE AND AS INDICATED ON THE PLAN.
11. IRRIGATION ROTOR HEADS SHALL BE PGP ULTRA MODELS PGP-04-PRB WITH MPR NOZZLES.
12. IRRIGATION REMOTE CONTROL VALVES SHALL BE 1" AND/OR 1.5" HUNTER ICV AS INDICATED. PRIOR TO ALL REMOTE CONTROL VALVES, INSTALL A NOMINALLY SIZED BALL VALVE WITHIN THE SAME BOX.
13. SIZE OF VALVES ARE AS SHOWN ON PLAN. VALVES SHALL BE INSTALLED IN APPROVED BOXES WITH COVERS LARGE ENOUGH TO PERMIT MANUAL OPERATION. REMOVAL OF SOLENOID AND/OR VALVE COVER WITHOUT ANY EARTH EXCAVATION. OWNERS MAY ELECT LOCKING BOXES ON A PROJECT BY PROJECT BASIS.
14. QUICK COUPLING VALVES SHALL BE HUNTER INSTALLED PER DETAIL SHOWN. SWING JOINTS SHALL BE CONSTRUCTED USING 3/4" SCHEDULE 80 ELBOWS. CONTRACTOR SHALL SUPPLY OWNER WITH THREE (3) CHG COUPLERS AND THREE (3) #10HSL SWIVEL HOSE ELLS AS PART OF THIS CONTRACT.
15. IRRIGATION SYSTEM AUTOMATIC CONTROLLER SHALL BE HUNTER IC22 IN STAINLESS STEEL WALL MOUNT (IC2-8-SS). USE TWO-WIRE EZDM DECODER SYSTEM. USE EZDM SINGLE STATION DECODER WITH STATUS LED PER ZONE. INSTALL RAIN AND FREEZE SENSORS. INSTALL PER MANUFACTURERS RECOMMENDATIONS. USE HUNTER MODEL DUAL-S SURGE ARRESTORS AND CONNECT THE SURGE ARRESTOR GROUND WIRE TO EARTH GROUND HARDWARE. CONFIRM WIRING, GROUNDING AND SURGE PROTECTION REQUIREMENTS BEFORE INSTALLING.
16. DRIP IRRIGATION REMOTE CONTROL VALVES SHALL BE HUNTER IC2-101-LF-25 AS INDICATED. DRIP TUBING SHALL BE HUNTER HDL-06-12-CV.
17. INSTALL DRIP TUBING/LINES PER MANUFACTURERS RECOMMENDATIONS. USE PLD-LOC FITTINGS PLD-LOC 075, PLD-LOC 060, PLD-LOC ELB, PLD-LOC CPL, PLD-LOC CAP, PLD-LOC TEE, PLD-LOC OR USE FHS BARB FITTINGS PLD-075, PLD-050, PLD-ELB, PLD-CPL, PLD-CAP, PLD-TEE, PLD-075-TBTEE, PLD-BV. USE ECO-INDICATOR ECO-ID. USE LINE FLUSHING VALVE HUNTER AFV-B.
18. DRIP TUBING SHALL BE SPACED 18" APART IN SHRUB AREAS. REFER TO MANUFACTURERS RECOMMENDATIONS.
19. ROOT BUBBLERS SHALL BE HUNTER RZWS-18-25.
20. ALL VALVE CONTROL WIRE SHALL BE SIZED PER MANUFACTURER GUIDELINES BY THE CONTRACTOR ACCORDING TO THE ACTUAL FIELD DISTANCE. ALL CONNECTIONS SHALL BE WATER-PROOF, KEPT TO A MINIMUM, AND LOCATED IN AN APPROVED BOX.

**NOTE TO CONTRACTOR:**  
ENTIRE SYSTEM SHALL BE INSTALLED PER TCEQ STANDARDS, MANUFACTURERS SPECIFICATIONS AND ALL CITY CODES.

**COVERAGE:**  
VARIOUS AREAS ON PLAN ARE SHOWING SINGLE HEAD COVERAGE. IF OWNER SHOULD ELECT TO COVER TO THE CURB LINE, CONTRACTOR TO PROCURE THE PROPER PERMITS AND BID ALTERNATE FOR THESE ADDITIONAL SPRAY HEADS, ZONES, AND CONTROLLER EXPANSION FOR THE SYSTEM.

**NOTE:**  
THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, AND OTHER EQUIPMENT SHOWN WITHIN PAVED AREAS OR OUT OF PROPERTY BOUNDARIES ARE FOR DESIGN CLARIFICATION ONLY, AND SHALL BE INSTALLED IN PLANTING AREAS WITHIN THE PROPERTY LINES OR LIMITS INDICATED ON PLAN. THE IRRIGATION CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL ABOVE GROUND IRRIGATION EQUIPMENT WITH THE OWNERS AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION, OR IRRIGATION CONTRACTOR MAY BE REQUIRED TO MOVE SUCH ITEMS AT HIS OWN COST.

**REFERENCE:**  
REFERENCE LANDSCAPE PLAN FOR LOCATION OF GRAVEL, STEEL EDGING AND ALL PROPOSED PLANT MATERIAL.



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04/23/21

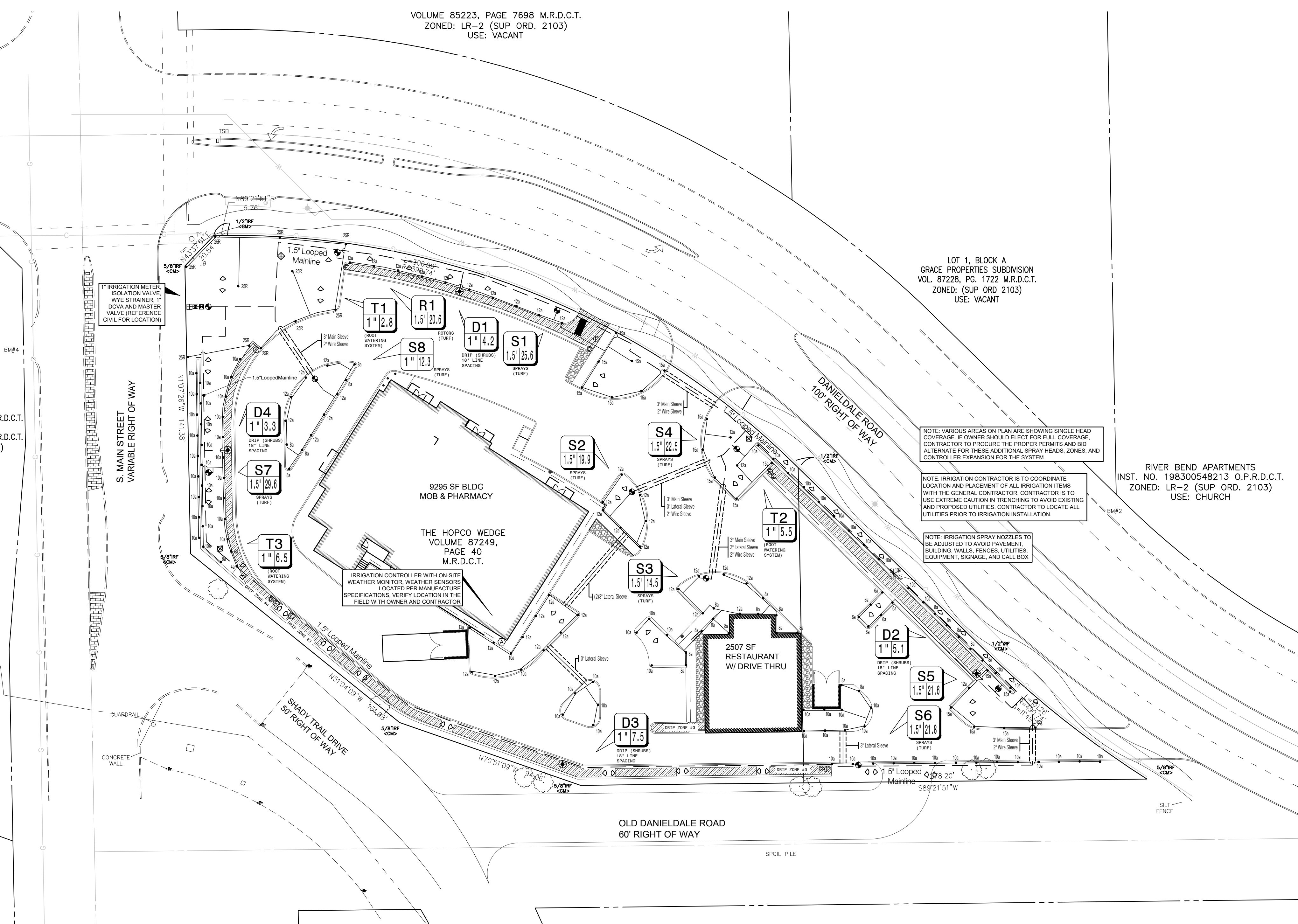
**IRRIGATION PLAN**

THE HOPCO WEDGE  
DUNCANVILLE, DALLAS COUNTY, TX

OWNER: ITALY FAMILY PHARMACY, INC.  
2549 MARINA DRIVE GRAND PRAIRIE, TX 75054  
CONTACT: ROLAND AKO AYUKROLS@YAHOO.COM

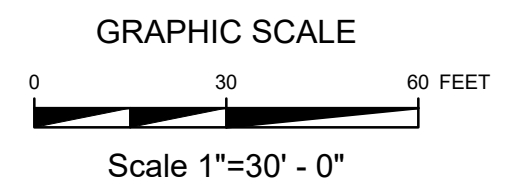
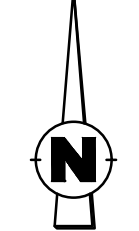
ENGINEER: MBW ENGINEERING, LLC  
4924 BOLERO CT FORT WORTH, TX 76135  
CONTACT: MATHEW WILLIAMSON, PE  
MBWENG1@OUTLOOK.COM 817-782-9821

ORIGINAL SUBMITTAL: MAY 8, 2021  
REVISED: JUNE 11, 2021



SYMBOL	DESCRIPTION	MANUFACTURER	MODEL NO.
10a	SPRAYS WITH PRO ADJ. NOZZLES	HUNTER	PROS-04-PRS30
R0	NOT USED		
2R	ROTORS WITH MPR NOZZLES	HUNTER	PGP-04-PRB
3	TREE ROOT BUBBLER SYSTEM	HUNTER	RZWS-18-25
4	REMOTE CONTROL VALVE	HUNTER	ICV
5	1" DOUBLE CHECK ASSEMBLY	FEBCO	850 SERIES
6	1" TREE CONTROL ZONE KIT	HUNTER	
7	HDL DRIPLINE	HUNTER	HDL-06-12-CV
8	LINE FLUSHING VALVE	HUNTER	AFV-B
9	PRESSURE OPERATOR INDICATOR	HUNTER	ECO-ID
10	DRIP CONTROL VALVE	HUNTER	IC2-101-LF-25

SYMBOL	DESCRIPTION
11	1" IRRIGATION METER
12	HUNTER - IC22 IN WALL MOUNT(IC2-8-SS). USE TWO-WIRE EZDM DECODER SYSTEM. USE RAIN AND FREEZE SENSORS
13	ISOLATION VALVE
14	LATERAL PIPING REFER TO PLAN CLASS 200 PVC
15	MAINLINE PIPING REFER TO PLAN SCH. 40 PVC, SIZED AS SHOWN (INSTALL THRUST BLOCKS AS NECESSARY)
16	IRRIGATION SLEEVE, SCH. 40 PVC, MIN. TWICE SIZE OF PIPE TO BE INSERTED, ONE SLEEVE PER PIPE
17	CONTROL WIRING SLEEVE, 2" SCH. 40 PVC
D1	VALVE STATION # (WHERE D = DRIP TUBING, S = SPRAY, R = ROTOR, T = TREE DRIP)
18	VALVE SIZE
19	GPM



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GENERAL IRRIGATION SPECIFICATIONS

SECTION 32 8423 - UNDERGROUND IRRIGATION SLEEVES AND UTILITY CONDUITS

PART 1 - GENERAL

- 1.1 DESCRIPTION
A. PROVIDE UNDERGROUND IRRIGATION SLEEVES AS INDICATED ON THE DRAWINGS.
1.2 RELATED WORK
A. SECTION 32 8424 - IRRIGATION SYSTEM.

- 1.3 REFERENCE STANDARDS
A. AMERICAN STANDARD FOR TESTING AND MATERIALS (ASTM) - LATEST EDITION.
PART 2 - MATERIALS
2.1 GENERAL
A. POLYVINYL CHLORIDE PIPE (PVC) - SCHEDULE 40 SHALL BE USED FOR ALL SLEEVING PURPOSES.

- B. PVC PIPES SHALL BE MARKED WITH SDR NUMBER, ASTM STANDARD NUMBER, AND THE NSF SEAL.
C. SOLVENT SHALL BE USED AS RECOMMENDED BY MANUFACTURER TO MAKE SOLVENT WELDED JOINTS. PIPE AND FITTINGS SHOULD BE CLEANED BEFORE APPLYING SOLVENT.
PART 3 - EXECUTION
3.1 INSTALLATION
A. A MINIMUM OF TWENTY FOUR (24) INCHES COVER SHALL BE PROVIDED OVER THE TOP OF SLEEVE FROM FINISH GRADE.

- B. SLEEVES SHALL BE EXTENDED ONE (1) FOOT PAST THE EDGE OF PAVEMENT OF WALLS, INSTALL A NINETY DEGREE ELBOW ON EACH SLEEVE AND ADD ADDITIONAL LENGTH TO EXTEND ABOVE FINISH GRADE BY TWELVE (12) INCHES. CAP PIPE ENDS.
3.2 BACKFILL
A. BACKFILL SHALL BE PLACED OVER SLEEVES IN SIX (6) INCH LIFTS. SOIL SHALL BE TAMPED INTO PLACE, TAKING CARE TO NOT DAMAGE SLEEVE.
B. REPAIR ANY DAMAGE FROM IMPROPER COMPACTION.
END OF SECTION

SECTION 32 8424 - IRRIGATION SYSTEM

PART 1 - GENERAL

- 1.1 DESCRIPTION
A. PROVIDE A COMPLETE IRRIGATION SYSTEM INSTALLATION AS DETAILED AND SPECIFIED. THIS SHALL INCLUDE FURNISHING ALL LABOR, MATERIAL, EQUIPMENT AND SERVICES NECESSARY TO PROVIDE COMPLETE INSTALLATION. WORK INCLUDES:
a. TRENCHING
b. BACKFILL
c. AUTOMATIC CONTROLLED SYSTEM
d. AS BUILT DRAWINGS
B. SLEEVING AS SHOWN SHALL BE FURNISHED BY THE GENERAL CONTRACTOR.
C. METER AND POWER SHALL BE PROVIDED BY THE GENERAL CONTRACTOR.

- 1.2 RELATED WORK
C. REFERENCE IRRIGATION PLANS FOR CONTROLLER, HEAD AND ALL VALVE LOCATIONS.
D. REFERENCE LANDSCAPE PLANS, NOTES, DETAILS FOR ADDITIONAL REQUIREMENTS.
E. SECTION 32 9300 - LANDSCAPE
F. SECTION 32-8423 - UNDERGROUND IRRIGATION SLEEVE AND UTILITY CONDUITS

EZDS WRITTEN SPECIFICATIONS

PART 1 - GENERAL

- 1.1 THE IRRIGATION CONTROL SYSTEM SHALL FEATURE A TWO-WIRE OUTPUT MODULE FOR CONTROL OF UP TO 54 STANDARD 24VAC SOLENOID VALVES OVER A SINGLE PAIR OF WIRES. THE TWO WIRE OUTPUT MODULE SHALL FIT INTO A PRE-EXISTING MODULE SLOT IN THE CONTROLLER BACKPLANE, AND MAY COEXIST WITH "CONVENTIONAL" OUTPUT MODULES FEATURING INDIVIDUAL WIRES PER SOLENOID VALVES. THE MAXIMUM CAPACITY OF THE CONTROLLER SHALL BE 54 VALVES, IN ANY COMBINATION OF TWO-WIRE AND CONVENTIONALLY WIRED CONTROL WIRING.

PART 2 - TWO-WIRE OUTPUT MODULE

- 2.1 THE TWO-WIRE OUTPUT MODULE SHALL BE MANUFACTURED BY THE SAME MANUFACTURER AS THE CONTROLLER AND SHALL CARRY ALL THE SAME NECESSARY APPROVALS AND COMPLIANCE AS THE HOST CONTROLLER.
A. OUTPUT MODULE CHARACTERISTICS
i. THE OUTPUT OF THE OUTPUT MODULES, INCLUDING THE TWO-WIRE OUTPUT MODULE, SHALL NOT EXCEED 24VAC (NOMINAL 24VAC) AT 50 OR 60 HZ, SUITABLE FOR DIRECT-BURIAL WIRING IN LANDSCAPE IRRIGATION APPLICATIONS.
ii. THE TWO-WIRE OUTPUT MODULE SHALL INCLUDE TWO SEPARATE, CLEARLY LABELED, HEAVY-DUTY TWO-WIRE PATH SCREW TERMINALS FOR WIRING IN DIFFERENT DIRECTIONS.
iii. THE TWO-WIRE OUTPUT MODULE SHALL ALSO PERMIT OPERATION OF A PUMP/MASTER VALVE OUTPUT VIA DECODER IN THE TWO-WIRE PATH, IF DESIRED.
iv. THE TWO-WIRE OUTPUT MODULE SHALL INCLUDE A PROGRAMMING PORT AND BUTTON FOR PROGRAMMING STATION ADDRESSES AND THE TWO-WIRE OUTPUT MODULE SHALL ALSO INCLUDE AN LED LIGHT FOR PROGRAMMING AND DIAGNOSTIC PURPOSES.
v. THE TWO-WIRE OUTPUT MODULE SHALL OPERATE DEDICATED, PROGRAMMABLE FIELD DECODERS, MANUFACTURED BY THE SAME MANUFACTURER AS THE CONTROLLER AND THE TWO-WIRE OUTPUT MODULE, AND SPECIFICALLY DESIGNED TO OPERATE AS A COMPLETE SYSTEM.

ADDITIONAL TWO-WIRE INFORMATION

HUNTER TECHNICAL HOTLINE

PLEASE CALL THE HUNTER TECHNICAL HOTLINE NUMBER AT (760) 591-7383

HUNTER RESOURCE GUIDES

GUIDES, INFORMATION, AND MATERIALS FOR IRRIGATION COMPONENTS ARE LOCATED AT https://www.hunterindustries.com/resource-guide

REFERENCE HUNTER DECODER SYSTEMS DESIGN GUIDE, SPECIFICATIONS AND PUBLICATIONS PRIOR TO INSTALLATION. CONFIRM REQUIREMENTS FOR CONTROLLER, WATERPROOF CONNECTIONS, GROUNDING, SURGE PROTECTORS, DECODERS, VALVES, AND WIRING PRIOR TO INSTALLATION. HUNTER TECHNICAL SERVICES (760) 591-7383. WWW.HUNTERINDUSTRIES.COM

EZ DECODER

THE EZ DECODER SYSTEM IS A UNIQUE TWO-WIRE OUTPUT OPTION FOR HUNTER ICC2 AND HCC CONTROLLER MODELS ONLY.
• DO NOT ATTEMPT TO USE THIS SYSTEM WITH ANY OTHER MODEL OR BRAND OF CONTROLLER.
• DO NOT ATTEMPT TO USE EZ-1 DECODERS WITH ANY OTHER DECODER CONTROLLER.

EZ DECODERS ARE DESIGNED TO BE EASY. THEY DO NOT REQUIRE SPECIAL WIRE.
• THEY DO REQUIRE DIRECT BURIAL WIRE OF ADEQUATE SIZE FOR THE DISTANCE OF EACH WIRE RUN (SEE CHART). IT IS EVEN POSSIBLE TO USE EXISTING WIRE FROM "CONVENTIONAL" INSTALLATIONS TO CREATE A TWO-WIRE PATH FOR EZ DECODERS.
• THE EZ DECODER SYSTEM DOES NOT REQUIRE WATERPROOF CONNECTIONS IN ORDER TO OPERATE. HOWEVER, JUST AS IN CONVENTIONAL SYSTEMS, WATERPROOF CONNECTORS SHOULD BE USED TO MAINTAIN THE INTEGRITY OF THE SPICE AND THE WIRE.

INSTALLING THE EZ-DM IN HUNTER ICC2 AND HCC CONTROLLERS
IF THE WHOLE SYSTEM WILL BE TWO-WIRE, INSTALL THE EZ-DM MODULE IN THE FIRST SLOT IN THE CONTROLLER. PRESS THE RESET BUTTON ON THE BACK OF THE CONTROLLER FACE PANEL FOR THE NEW MODULE TO BE RECOGNIZED.
• OPEN BLUE LOCK LEVER.
• INSERT MODULE TABS INTO END OF SLOT, AND TIP INTO PLACE.
• CLOSE LOCKING LEVER.
• PRESS CONTROLLER RESET BUTTON. CONTROLLER WILL THEN RECOGNIZE THE NEW MODULE, AND THE

1.3 REFERENCE STANDARDS

- A. AMERICAN STANDARD FOR TESTING AND MATERIALS (ASTM) - LATEST EDITION.
1.4 QUALITY ASSURANCE AND REQUIREMENTS
A. PERMITS AND FEES: THE CONTRACTOR SHALL OBTAIN AND PAY FOR ANY PERMITS NECESSARY AND ALL OBSERVATIONS AS REQUIRED.
B. MANUFACTURER'S DIRECTIONS: MANUFACTURER'S DIRECTIONS AND DETAILED DRAWINGS SHALL BE FOLLOWED IN ALL CASES WHERE THE MANUFACTURERS OF ARTICLES USED IN THIS CONTRACT FURNISH DIRECTIONS COVERING POINTS NOT SHOWN IN THE DRAWINGS AND SPECIFICATIONS.
C. ORDINANCES, CODES, AND REGULATIONS: ALL LOCAL, MUNICIPAL AND STATE LAWS, AND RULES AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THIS WORK ARE HEREBY INCORPORATED INTO AND MADE A PART OF THESE SPECIFICATIONS, AND THEIR PROVISIONS SHALL BE CARRIED OUT BY THE CONTRACTOR. ANYTHING CONTAINED IN THESE SPECIFICATIONS SHALL NOT BE CONSTRUED TO CONFLICT WITH ANY OF THE ABOVE RULES AND REGULATIONS AND REQUIREMENTS OF THE SAME.
D. HOWEVER, WHEN THESE SPECIFICATIONS AND DRAWINGS CALL FOR OR DESCRIBE MATERIALS, WORKMANSHIP, OR CONSTRUCTION OF A BETTER QUALITY, HIGHER STANDARD OR LARGER SIZE THAN IS REQUIRED BY THE ABOVE RULES AND REGULATIONS, THESE SPECIFICATIONS AND DRAWINGS SHALL TAKE PRECEDENCE.

1.5 SCHEDULE OF MATERIALS

- A. MATERIALS LIST:
a. ALL EQUIPMENT MANUFACTURERS AND MODEL NUMBERS SHALL BE AS NOTED ON THE PLANS.
b. THE CONTRACTOR SHALL FURNISH THE ARTICLES, EQUIPMENT, MATERIALS, OR PROCESSES SPECIFIED BY NAME IN THE DRAWINGS AND SPECIFICATIONS. NO SUBSTITUTION WILL BE ALLOWED WITHOUT PRIOR WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.
c. A COMPLETE MATERIAL LIST OF EQUIPMENT SHALL BE SUBMITTED BEFORE PERFORMING ANY WORK. SUBMITTAL SHOULD INCLUDE ALL MANUFACTURERS' SPECIFICATIONS AND LITERATURE FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
d. EQUIPMENT OR MATERIALS INSTALLED OR FURNISHED WITHOUT PRIOR APPROVAL OF THE LANDSCAPE ARCHITECT MAY BE REJECTED.
e. APPROVAL OF ANY ITEM, ALTERNATE OR SUBSTITUTE INDICATES ONLY THAT THE PRODUCT OR PRODUCTS APPARENTLY MEET THE REQUIREMENTS OF THE DRAWINGS AND SPECIFICATIONS ON THE BASIS OF THE INFORMATION OR SAMPLES SUBMITTED.
f. MANUFACTURER'S WARRANTIES SHALL NOT RELIEVE THE CONTRACTOR OF HIS LIABILITY UNDER THE GUARANTEE. SUCH WARRANTIES SHALL ONLY SUPPLEMENT THE GUARANTEE.

1.4 RECORD AND AS BUILT DRAWINGS/SUBMITTALS

- A. CONTRACTOR SHALL PROVIDE AND KEEP UP TO DATE AND COMPLETE "AS-BUILT" RECORD SET OF PRINTS.
B. CONTRACTOR SHOULD USE ALL SYMBOLS AND NOTATIONS CONSISTENT WITH THE ORIGINAL DRAWINGS.
C. IN "AS-BUILT" DRAWINGS, CONTRACTOR SHALL LOCATE:
a. CONNECTION TO EXISTING WATER LINES
b. CONNECTION TO ELECTRICAL POWER
c. GATE VALVES
d. ROUTING OF SPRINKLER PRESSURE LINES
e. SPRINKLER CONTROL VALVES
f. QUICK COUPLING VALVES
g. OTHER RELATED EQUIPMENT
D. SUBMIT COMPLETED TRACINGS PRIOR TO FINAL ACCEPTANCE. DATE AND SIGN ALL DRAWINGS.
E. EQUIPMENT TO BE FURNISHED:

vi. THE TWO-WIRE OUTPUT MODULE MUST BE CAPABLE OF OPERATING TWO FIELD DECODERS, PLUS A DECODER-OPERATED PUMP/MASTER VALVE OUTPUT, SIMULTANEOUSLY.

PART 3 - FIELD DECODERS

- 3.1 DECODER CHARACTERISTICS
A. THE FIELD DECODERS SHALL BE COMPLETELY WATERPROOF, RATED AT A MINIMUM OF IP68 FOR TOTAL IMMERSION.
i. EACH FIELD DECODER SHALL BE PROGRAMMABLE WITH THE DESIRED STATION ADDRESS, AND SHALL NOT REQUIRE SEPARATE SERIAL NUMBERS OF ANY KIND.
ii. EACH FIELD DECODER MUST INCLUDE A WATERPROOF STATUS LED LIGHT TO CONFIRM PROGRAMMING AND OPERATIONS, AND SERVE AS A FIELD DIAGNOSTIC AID.
B. THE PROGRAMMABLE FIELD DECODERS SHALL RECEIVE THEIR STATION ADDRESSES FROM A PROGRAMMING PORT BUILT INTO THE TWO-WIRE OUTPUT MODULE. THE INSTALLER SHALL SELECT THE STATION NUMBER TO PROGRAM INTO THE FIELD DECODER, PRIOR TO INSTALLATION IN THE FIELD AT VALVE LOCATIONS.
C. THE FIELD DECODER OUTPUT TO THE SOLENOID SHALL BE 24VAC, 50/60 HZ, AND THE OUTPUT OF AN ACTIVE STATION SHALL BE MEASURABLE ON A STANDARD VOLTMETER.
i. THE WIRING DISTANCE FROM THE DECODER TO THE SOLENOID SHALL BE LIMITED ONLY BY THE TOTAL DISTANCE FROM THE CONTROLLER TO THE SOLENOID AND THE WIRE DIAMETER, AS INDICATED IN THE MANUFACTURER'S WIRING TABLE.

PART 4 - FIELD WIRING

- 4.1 THE FIELD DECODERS SHALL HAVE COLOR-CODED WIRES TO FACILITATE PROPER CONNECTION TO THE TWO-WIRE PATH AND TO THE VALVE SOLENOID. THERE SHALL BE NO POLARITY ON THE TWO-WIRE PATH, WHICH MEANS IT DOES NOT MATTER WHICH PATH WIRE IS CONNECTED TO WHICH INCOMING LEAD, AND THERE SHALL BE NO POLARITY ON THE OUTPUT WIRES TO THE 24VAC SOLENOID.
A. ALL FIELD DECODER CONNECTIONS SHALL BE MADE WITH GEL-FILLED OR SIMILAR WATERPROOF SPLICE CONNECTORS DESIGNED FOR STANDARD IN-GROUND LANDSCAPE IRRIGATION PURPOSES.

CONTROLLER SIZE WILL CHANGE TO 54 STATIONS.
THE EZ-DM MAY ALSO BE COMBINED WITH ICM-800 AND ICM-400 MODULES FOR "HYBRID" OPERATION. THEY CAN USE "CONVENTIONAL" SOLENOID WIRING AND TWO-WIRE TECHNOLOGY AT THE SAME TIME, UP TO 54 STATIONS MAXIMUM.
IT IS RECOMMENDED TO INSTALL ALL CONVENTIONAL MODULES IN THE LOWER-NUMBERED SLOTS, AND INSTALL THE EZ-DM IN THE NEXT AVAILABLE SLOT.
• THE CONVENTIONAL MODULES WILL OPERATE THE STATION NUMBERS THAT ARE SHOWN ON THE BACKPLANE OF THE CONTROLLER, NEXT TO THE SLOT.
• THE EZ-DM MODULE CAN OPERATE REMAINING STATION NUMBERS UP TO 54 VIA THE TWO-WIRE PATHS.
• DO NOT PROGRAM DUPLICATE STATION NUMBERS WHEN COMBINING CONVENTIONAL MODULES AND THE EZ-DM. IF AN EZ DECODER IS PROGRAMMED TO STATION 1, AND THERE IS A CONVENTIONAL MODULE IN THE FIRST OUTPUT SLOT WITH STATION 1, BOTH STATION "ONES" WILL TURN ON AT THE SAME TIME. THIS MAY CAUSE A STATION ERROR IF IT CAUSES AN OVERLOADED CURRENT CONDITION.
• ONLY PROGRAM DECODER STATION NUMBERS THAT ARE NOT IN USE ON CONVENTIONAL OUTPUT MODULES.

DECODER PROGRAMMING
• EACH EZ-1 DECODER MUST BE PROGRAMMED WITH A STATION NUMBER (OR AS THE P/MV) BEFORE USE.
• INSERT EZ-1 RED AND BLUE WIRES INTO PORTS ON THE EZ-DM OUTPUT MODULE. IT DOES NOT MATTER WHICH COLOR GOES IN WHICH HOLE. USE THE CONTROLLER FACE PANEL (OR REMOTE CONTROL, IF SO EQUIPPED) TO START THE STATION NUMBER YOU WANT TO PROGRAM INTO THE DECODER.
• WHEN THE STATION IS SHOWN RUNNING IN THE CONTROLLER DISPLAY, PRESS THE PRG BUTTON ON THE EZDM. WHEN THE LED ILLUMINATES ON THE DECODER, THE DECODER IS PROGRAMMED WITH THAT STATION'S NUMBER. WRITE THE STATION NUMBER ON THE DECODER LABEL WITH A PERMANENT MARKER. IT IS NOW READY TO INSTALL IN THE TWO-WIRE PATH AT A VALVE LOCATION.
IMPORTANT: CONNECT A JUMPER WIRE FROM THE P/MV TERMINAL ON THE CONTROLLER POWER MODULE, TO THE P/MV TERMINAL ON THE DECODER OUTPUT MODULE, FOR DECODER OPERATION OR P/MV. IF THE P/MV OUTPUT WILL NOT BE USED, OR IF THE P/MV IS NEARBY AND WILL BE WIRED DIRECTLY TO THE CONTROLLER WITHOUT A DECODER, DO NOT INSTALL A JUMPER WIRE. THE P/MV OUTPUT ON THE CONTROLLER POWER MODULE WILL OPERATE NORMALLY IF THE JUMPER WIRE IS NOT CONNECTED.

P/MV (PUMP/MASTER VALVE)
TO PROGRAM P/MV OUTPUT FOR DECODER: WITH NO STATIONS RUNNING, CONNECT THE DECODER TO THE PORT, AND PRESS THE PRG BUTTON ON THE EZDM. WHEN THE DECODER LED ILLUMINATES, THE DECODER IS PROGRAMMED AS THE P/MV OUTPUT.

IMPORTANT: CONNECT A JUMPER WIRE FROM THE P/MV TERMINAL ON THE CONTROLLER POWER MODULE, TO THE P/MV TERMINAL ON THE DECODER OUTPUT MODULE, FOR DECODER OPERATION OR P/MV. IF THE P/MV OUTPUT WILL NOT BE USED, OR IF THE P/MV IS NEARBY AND WILL BE WIRED DIRECTLY TO THE CONTROLLER WITHOUT A DECODER, DO NOT INSTALL A JUMPER WIRE. THE P/MV OUTPUT ON THE CONTROLLER POWER MODULE WILL OPERATE NORMALLY IF THE JUMPER WIRE IS NOT CONNECTED.

TWO-WIRE PATH CONNECTIONS AND RULES
• THE OUTPUT OF THE EZ-DM WIRE PATHS IS 24VAC, 50/60 HZ. VOLTAGE IS ONLY PRESENT ON THE PATHS WHEN STATIONS ARE ACTIVE.

- a. SUPPLY AS PART OF THIS CONTRACT THE FOLLOWING TOOLS:
I. QUICK COUPLING KEYS, THREE (3) WITH BOILER DRAINS ATTACHED USING BRASS REDUCER.
ii. THREE (3) KEYS FOR EACH AUTOMATIC CONTROLLER
b. THE ABOVE MENTIONED EQUIPMENT SHALL BE TURNED OVER TO THE OWNER AT THE CONCLUSION OF THE PROJECT.
F. THE IRRIGATION CONTRACTOR SHOULD DEMONSTRATE THAT THE FINAL INSTALLED SYSTEM WILL OPERATE ACCORDING TO THE INTENT OF THE DESIGNED AND SPECIFIED SYSTEM. IRRIGATION CONTRACTOR SHALL GUARANTEE 100% COVERAGE TO ALL AREAS TO BE IRRIGATED.

- 1.5 MAINTENANCE AND GUARANTEE
A. MAINTENANCE AND WORKMANSHIP SHALL BE GUARANTEED FULLY FOR ONE (1) YEAR AFTER FINAL ACCEPTANCE.
B. PROVIDE MAINTENANCE OF SYSTEM, CLEANING AND ADJUSTMENT OF THE HEADS, FOR ONE (1) YEAR AFTER COMPLETION OF INSTALLATION.
C. GUARANTEE IS LIMITED TO REPAIR AND REPLACEMENT OF DEFECTIVE MATERIALS AND WORKMANSHIP, INCLUDING THE REPAIR OF BACKFILL SETTLEMENT.

- 1.6 TESTING
A. PERFORM TESTING REQUIRED WITH OTHER TRADES INCLUDING EARTHWORK, PAVING, PLUMBING, ETC. TO AVOID CUTTING, PATCHING OR BORING.
B. WATER PRESSURE SHOULD BE FOUND PRIOR TO STARTING CONSTRUCTION. DETERMINE/CONFIRM THAT STATIC WATER PRESSURE IS MORE THAN THE WATER PRESSURE NEEDED FOR THE SYSTEM TO FUNCTION PROPERLY. IF STATIC PRESSURE IS LESS THAN THE DESIGN PRESSURE NEEDED, DO NOT START WORK UNTIL THE LANDSCAPE ARCHITECT IS NOTIFIED.

- 1.7 COORDINATION
A. COORDINATE INSTALLATION OF ALL PRODUCTS, INCLUDING EARTHWORK, PAVING AND PLUMBING.
B. COORDINATE TO ENSURE THAT ELECTRICAL POWER SOURCE IS IN PLACE.
C. COORDINATE INSTALLATION WITH WORK SPECIFIED IN OTHER SECTIONS.
D. COORDINATE WITH THE LANDSCAPE CONTRACTOR TO ENSURE PLANT MATERIAL IS UNIFORMLY WATERED IN ACCORDANCE WITH INTENT SHOWN ON DRAWINGS.

PART 2 - PRODUCTS

- 2.1 MATERIALS
A. REFER TO CONSTRUCTION DRAWINGS AND NOTES.
B. SPRINKLER HEADS IN LAWN AREAS AS SPECIFIED ON PLAN
C. PVC PIPE: CLASS 200 SPR 21
D. COPPER TUBING (FOR CITY CONNECTIONS): TYPE "M"
E. WIRING: THE WIRE PATHS SHALL BE TWISTED PAIR, SOLID-CORE, COLOR-CODED RED/BLUE PAIRS, ENCLOSED IN A PE SLEEVE AVAILABLE IN 6 DIFFERENT COLORS FOR IN-GROUND IDENTIFICATION. ALL CONNECTIONS IN THE TWO-WIRE PATHS (OUTSIDE THE CONTROLLER ENCLOSURE) SHALL BE MADE WITH 3M DBRY-6 WATERPROOF, STRAIN-RELIEVING DIRECT BURIAL CONNECTORS, OR EXACT EQUIVALENTS.
F. ELECTRIC VALVES TO BE ALL PLASTIC CONSTRUCTION AS INDICATED ON PLANS.
G. REFER TO DRAWING FOR BACKFLOW PREVENTION LOCATION - COORDINATE EXACT LOCATION WITH THE GENERAL CONTRACTOR.

PART 3 - EXECUTION

- 3.1 INSPECTION:
A. SITE CONDITIONS:
a. ALL SCALED DIMENSIONS ARE APPROXIMATE. THE CONTRACTOR SHALL CHECK AND VERIFY ALL SIZE DIMENSIONS.

- b. EXERCISE EXTREME CARE IN EXCAVATING AND WORKING NEAR UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES TO UTILITIES WHICH ARE CAUSED BY ANY OF HIS OPERATIONS OR NEGLIGENCE.
c. COORDINATE INSTALLATION OF IRRIGATION MATERIALS, INCLUDING PIPE, SO THERE SHALL BE NO INTERFERENCE WITH UTILITIES OR OTHER CONSTRUCTION DIFFICULTY IN PLANTING TREES, SHRUBS, AND GROUNDCOVERS. COORDINATE WORK WITH OTHER SITE CONTRACTORS.

3.2 PREPARATION

- A. PHYSICAL LAYOUT:
a. PIPING AND HEAD LAYOUT AS SHOWN ON PLANS IS SCHEMATIC ONLY. ALL PIPES TO BE INSTALLED DIRECTLY BEHIND CURBS, WALKS AND WALLS WHEREVER POSSIBLE.
b. PRIOR TO INSTALLATION CONTRACTOR SHALL STAKE OUT ALL PRESSURE SUPPLY LINES, ROUTING AND LOCATION OF SPRINKLER HEADS.
c. ALL LAYOUTS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
B. WATER SUPPLY:
a. IRRIGATION SYSTEM SHALL BE CONNECTED TO WATER SUPPLY POINTS OF CONNECTION AS INDICATED ON THE DRAWINGS.
b. CONNECTIONS SHOULD BE MADE AT APPROXIMATE LOCATIONS AS SHOWN ON DRAWINGS. CONTRACTOR SHALL VERIFY IN FIELD AND BE RESPONSIBLE FOR MINOR CHANGES CAUSED BY ACTUAL SITE CONDITIONS.

3.3 INSTALLATION

- A. TRENCHING
a. DIG TRENCHES STRAIGHT 6" WIDE WITH NEAR VERTICAL SIDE AND SUPPORT PIPE CONTINUOUSLY ON BOTTOM OF TRENCH. REMOVE LUMBER, RUBBISH, LARGE ROCKS ETC. FROM TRENCHES. LAY PIPE TO AN EVEN GRADE - WITH A FIRM, UNIFORM BEARING FOR ENTIRE LENGTH OF PIPE.
b. REMOVE FOREIGN MATTER OR DIRT FROM INSIDE OF PIPE BEFORE WELDING AND KEEP PIPING CLEAN BY ANY MEANS POSSIBLE DURING AND AFTER LAYING OF PIPE.
c. PROVIDE A MINIMUM OF EIGHTEEN (18) INCHES OF COVER FOR ALL PRESSURE SUPPLY LINES.
d. PROVIDE A MINIMUM OF TWELVE (12) INCHES OF COVER FOR ALL NON-PRESSURE LINES.
e. PROVIDE A MINIMUM COVER OF EIGHTEEN (18) INCHES FOR ALL CONTROL WIRING.
f. NO MACHINE TRENCHING, UNLESS APPROVED BY THE LANDSCAPE ARCHITECT, SHALL BE DONE WITHIN DRIP LINE OF EXISTING TREES. TRENCHING SHOULD BE DONE BY HAND, TUNNELING OR BORING OR OTHER METHODS APPROVED BY THE LANDSCAPE ARCHITECT. IT SHOULD BE UNDERSTOOD THAT PIPING LAYOUT IS DIAGRAMMATIC AND PIPING SHALL BE ROUTED AROUND TREES AND SHRUBS IN SUCH A MANNER TO AVOID DAMAGE TO PLANTS.
B. BACKFILL
a. TRENCHES SHALL NOT BE BACKFILLED UNTIL ALL REQUIRED TESTS ARE PERFORMED. TRENCHES SHALL BE CAREFULLY BACKFILLED WITH THE EXCAVATED MATERIALS APPROVED FOR BACKFILLING, CONSISTING OF EARTH, LOAM, SANDY CLAY, SAND OR OTHER APPROVED MATERIALS, FREE FROM LARGE CLODS, STONES OR STICKS.
b. IF SETTLEMENT OCCURS AND SUBSEQUENT ADJUSTMENTS IN PIPE, VALVES, SPRINKLER HEADS, LAWN OR PLANTING OR OTHER CONSTRUCTION ARE NECESSARY, THE CONTRACTOR SHALL MAKE ALL REQUIRED ADJUSTMENTS WITHOUT THE COST TO THE OWNER.
C. TRENCHING AND BACKFILL UNDER PAVING:
a. ALL IRRIGATION MAIN LINE AND LATERAL LINES OR WIRING LOCATED UNDER AREAS WHERE PAVING, ASPHALTIC PAVING, OR CONCRETE SHALL BE INSTALLED IN SCHEDULE 40 PVC SLEEVES OF ADEQUATE SIZE. SEE SECTION 32 8423.
D. ASSEMBLIES
a. INSTALL ALL ASSEMBLIES SPECIFIED HEREIN IN ACCORDANCE WITH RESPECTIVE DETAILS. IN ABSENCE OF DETAIL DRAWINGS OR SPECIFICATIONS, PERFORM SUCH WORK IN ACCORDANCE WITH BEST STANDARD PRACTICES OR MANUFACTURER'S RECOMMENDATIONS AS APPROVED BY THE LANDSCAPE ARCHITECT.

- b. MAKE SOLVENT WELDED JOINTS USING ONLY THE SOLVENT RECOMMENDED BY THE MANUFACTURER. PIPES AND FITTINGS SHOULD BE CLEANED OF ALL DIRT AND DUST AND MOISTENED BEFORE APPLYING SOLVENT.
c. ON PVC TO METAL CONNECTIONS, THE CONTRACTOR SHALL WORK METAL CONNECTIONS FIRST. USE NON HARDENING PIPE DOPE OR TEFLON TAPE ON THREADED PVC ADAPTERS INTO WHICH PIPE MAY BE WELDED. LIGHT WRENCH PRESSURE IS ALL THAT IS REQUIRED, USE THREADED PVC ADAPTERS INTO WHICH THE PIPE MAY BE WELDED.

- E. LINE CLEARANCE: ALL LINES SHALL HAVE A MINIMUM CLEARANCE OF SIX (6) INCHES FROM EACH OTHER AND FROM OTHER TRADES. PARALLEL LINES SHALL NOT BE DIRECTLY INSTALLED ONE OVER THE OTHER.
F. WIRING: INSTALL AS PER MANUFACTURER'S SPECIFICATIONS AND PER MANUFACTURER'S WIRING DISTANCE CALCULATIONS/INSTRUCTIONS. MAKE SPLICES PER MANUFACTURER'S SPECIFICATIONS.

- G. AUTOMATIC CONTROLLER AND DECODERS: INSTALL AS PER MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS. REMOVE CONTROL VALVES SHALL BE CONNECTED TO CONTROLLER IN NUMERICAL SEQUENCE AS SHOWN ON THE DRAWINGS. EACH REMOVE CONTROL VALVE SHALL BE WIRED TO ONE STATION OF THE CONTROLLER.
H. REMOTE CONTROL VALVES:
a. INSTALL WHERE SHOWN ON DRAWINGS AND DETAILS. VALVES SHALL BE SIZED ACCORDING TO THE DRAWINGS.
b. INSTALL IN A LEVEL POSITION IN ACCORDANCE TO MANUFACTURER'S SPECIFICATIONS.

- c. WHEN GROUPED TOGETHER, ALLOW AT LEAST TWELVE (12) INCHES BETWEEN VALVES. INSTALL EACH REMOTE CONTROL VALVE IN A SEPARATE VALVE BOX. EACH VALVE NUMBER AND ITS CONTROLLER LETTER SHALL BE STENCILED INSIDE VALVE BOX TOP WITH EXTERIOR PAINT.
I. FLUSHING OF SYSTEM:
a. AFTER ALL NEW SPRINKLER PIPE LINES AND RISERS ARE IN PLACE AND CONNECTED, ALL NECESSARY WORK HAS BEEN COMPLETED, AND PRIOR TO INSTALLATION OF SPRINKLER HEADS, THE CONTROL VALVES SHALL BE OPENED AND A FULL HEAD OF WATER USED TO FLUSH OUT THE SYSTEM.

- b. SPRINKLER HEADS SHALL BE INSTALLED ONLY AFTER FLUSHING OF THE SYSTEM HAS BEEN ACCOMPLISHED.
J. SPRINKLER HEADS:
a. INSTALL HEADS AS DESIGNED ON THE DRAWINGS. MAKE APPROPRIATE ADJUSTMENTS TO HEAD LAYOUT TO ACCOMMODATE FOR ACTUAL FIELD CONDITIONS.
b. SPACING OF HEADS SHALL NOT EXCEED THE MAXIMUM INDICATED ON THE DRAWINGS. IN NO CASE SHALL THE SPACING EXCEED THE MAXIMUM RECOMMENDED BY THE MANUFACTURER.
c. ALL SPRINKLERS TO ATTACH TO LATERAL LINES WITH FLEXIBLE CONNECTORS. REFERENCE DETAILS ON DRAWINGS.

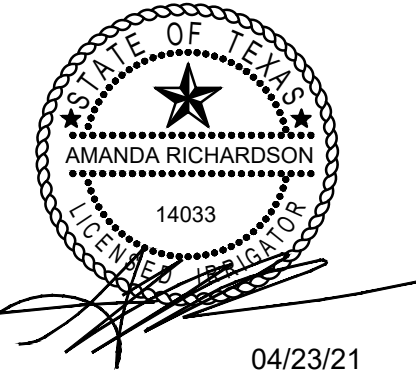
- 3.4 TESTING
A. THE CONTRACTOR SHALL TEST SPRINKLER MAIN FOR TWELVE TO FOURTEEN HOURS UNDER NORMAL PRESSURE. IF LEAKS ARE PRESENT, REPLACE JOINT OR JOINS AND REPEAT TEST.
B. A COMPLETE TEST SHALL BE MADE PRIOR TO BACKFILLING. BACKFILLING MATERIALS MAY BE PLACED IN TRENCHES IN LIFTS TO ENSURE STABILITY OF THE LINE UNDER THE PRESSURE OF BACKFILL. IN EACH CASE, LEAVE FITTINGS AND COUPLINGS OPEN TO VISUALLY INSPECT FOR FULL PERIOD OF TEST.
C. WHEN SYSTEM IS COMPLETE, A COVERAGE TEST SHALL BE PERFORMED IN THE PRESENCE OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. IT SHALL BE DETERMINED IF THE WATER COVERAGE FOR ALL PLANTING AREAS IS COMPLETE AND ADEQUATE. FURNISH ALL MATERIALS AND PERFORM ALL WORK REQUIRED TO CORRECT ANY INADEQUACIES OF COVERAGE.
D. UPON COMPLETION OF EACH PHASE OF WORK, THE ENTIRE SYSTEM SHOULD BE TESTED AND ADJUSTED TO MEET SITE REQUIREMENTS.
END OF SECTION

EZ DECODER WIRE CHART

Table with 4 columns: American Wire Gauge, Distance Feet, International Wire mm², Distance meters. Rows include 18 AWG, 16 AWG, 14 AWG, 12 AWG.

NOTE: Distances in the Wiring Table are calculated based on 60 Hz for American Wire Gauge, and 50 Hz for International, with wire temperature of 122°F (50°C), and a 10% safety factor.

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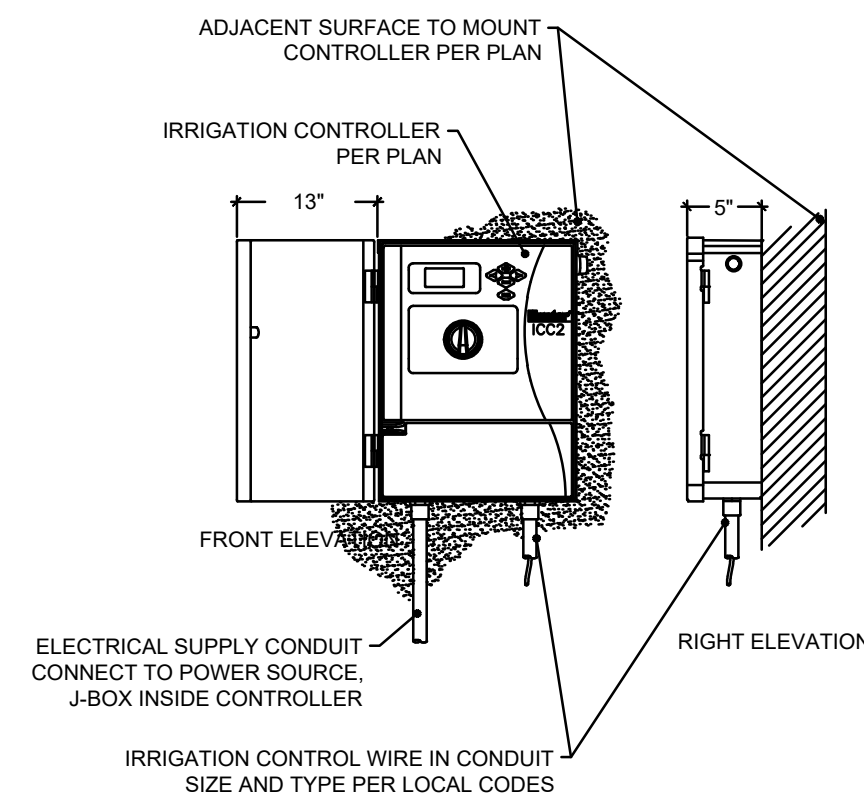
04/23/21

IRRIGATION SPECS/DETAILS

THE HOPCO WEDGE
DUNCANVILLE, DALLAS COUNTY, TX

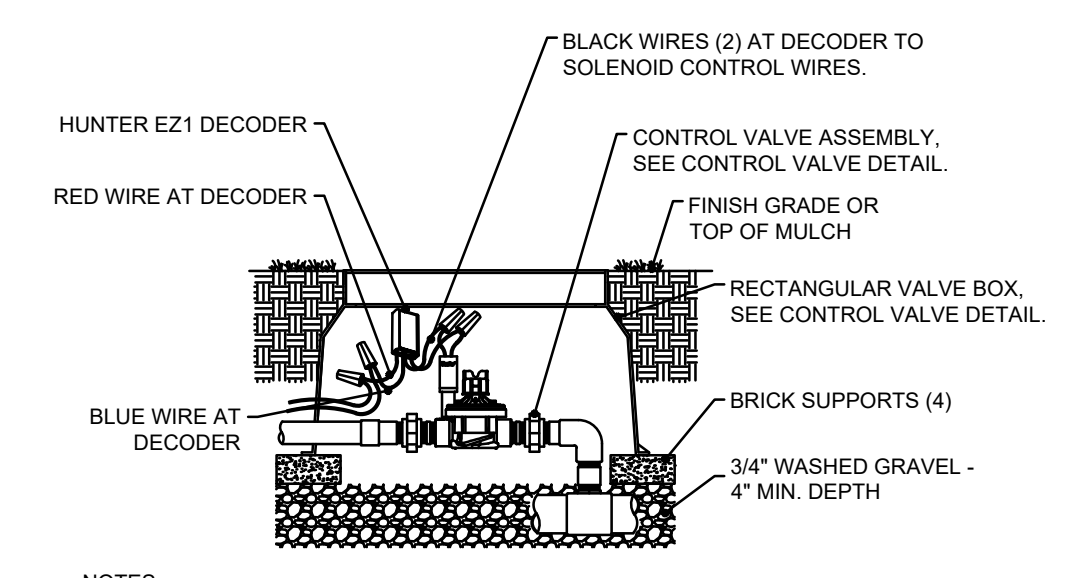
OWNER: ITALY FAMILY PHARMACY, INC.
2549 MARINA DRIVE GRAND PRAIRIE, TX 75054
CONTACT: ROLAND AKO AYUKROLS@YAHOO.COM
ENGINEER: MBW ENGINEERING, LLC
4924 BOLERO CT FORT WORTH, TX 76135
CONTACT: MATHEW WILLIAMSON, PE
MBWENG1@OUTLOOK.COM 817-782-9821

ORIGINAL SUBMITTAL: MAY 8, 2021
REVISED: JUNE 11, 2021



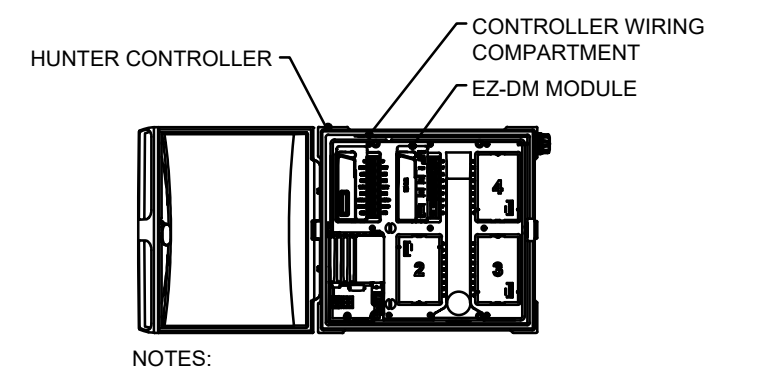
- NOTES:
1. MOUNT CONTROLLER LCD SCREEN AT EYE LEVEL. CONTROLLER SHALL BE HARD-WIRED TO GROUND/ED 110 VAC POWER SOURCE.
  2. CONFIRM PROPER GROUNDING AND SURGE PROTECTION.

**1** ICC2 IRRIGATION CONTROLLER  
N.T.S.



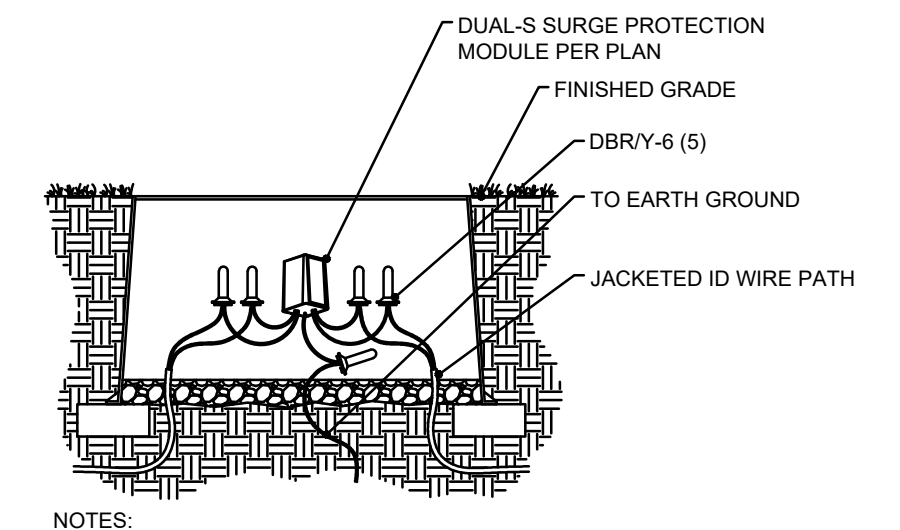
- NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
  2. CONTROLLER ACCEPTS 120 VOLTS A.C. OR 230 VOLTS A.C.
  3. SEE PLAN LEGEND FOR MODEL NUMBER AND SPECIFICATIONS.
  4. ALWAYS REFER TO PRODUCT INSTALLATION NOTES PRIOR TO INSTALLATION.

**2** EZ-1 DECODER AT CONTROL VALVE  
N.T.S.



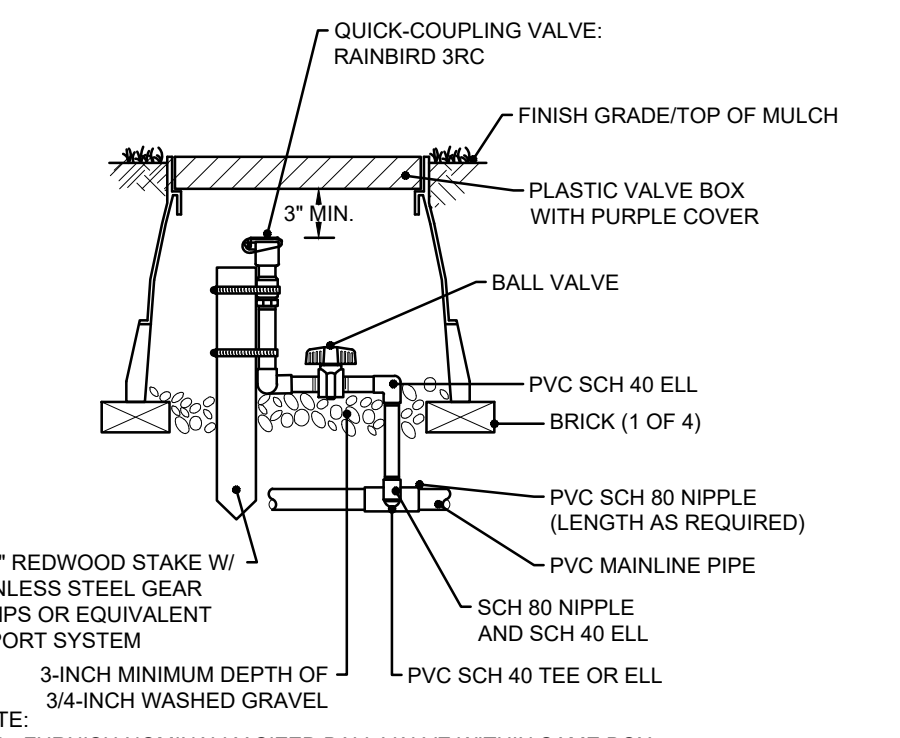
- NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
  2. CONTROLLER ACCEPTS 120 VOLTS A.C. OR 230 VOLTS A.C.
  3. SEE PLAN LEGEND FOR MODEL NUMBER AND SPECIFICATIONS.
  4. ALWAYS REFER TO PRODUCT INSTALLATION NOTES PRIOR TO INSTALLATION.

**3** EZ-DM MODULE IN WIRING COMPARTMENT  
N.T.S.



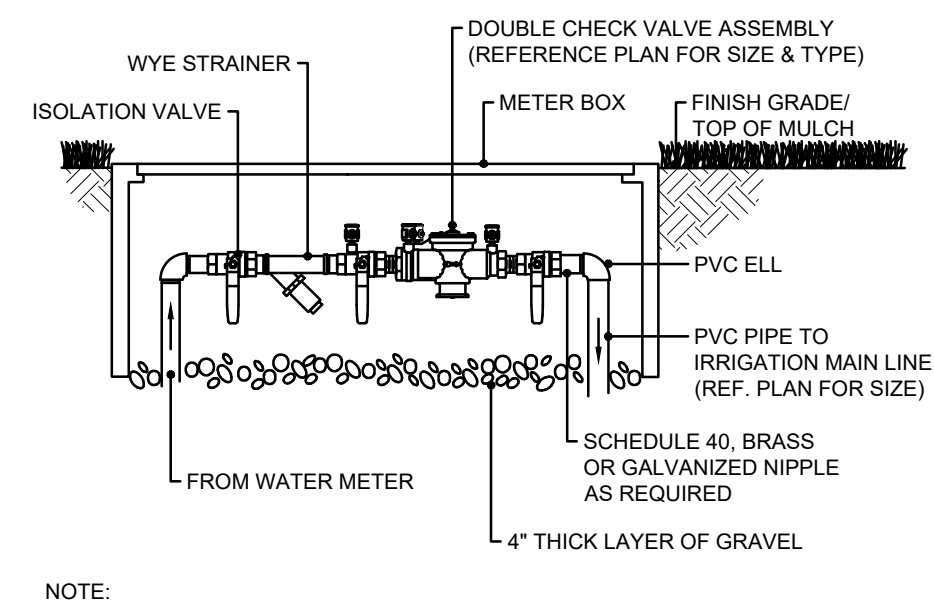
- NOTES:
1. EARTH GROUND TO BE A MINIMUM OF 8' AWAY FROM DUAL-S AND AT A RIGHT ANGLE TO THE TWO WIRE PATH.

**4** DUAL-S SURGE PROTECTION MODULE  
N.T.S.



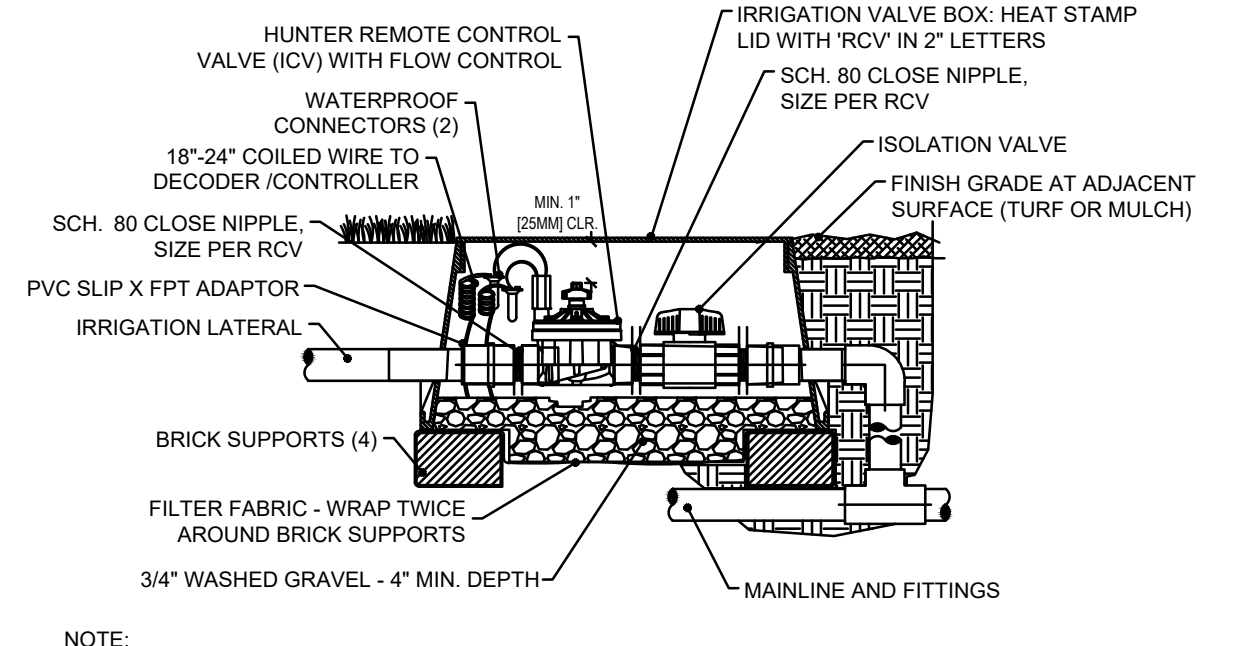
- NOTE:
1. FURNISH NOMINALLY SIZED BALL VALVE WITHIN SAME BOX AND PRIOR TO MAINLINE TEE.
  2. FURNISH FITTINGS AND PIPING NOMINALLY SIZED IDENTICAL TO NOMINAL QUICK COUPLING VALVE INLET SIZE.

**5** QUICK COUPLING VALVE  
N.T.S.



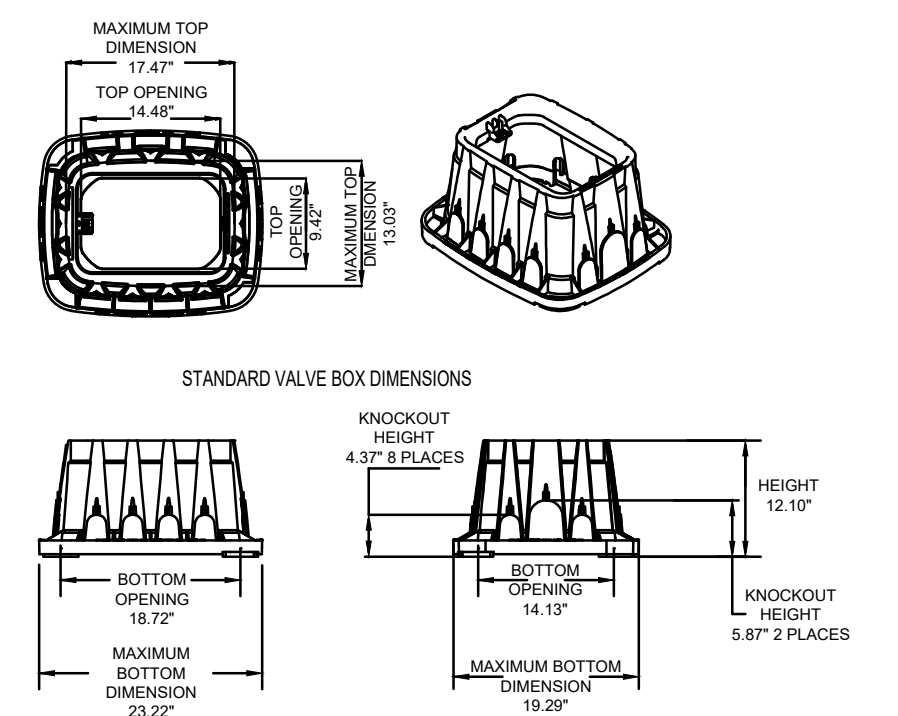
- NOTE:
1. INSTALL BACKFLOW PREVENTER AS REQUIRED BY LOCAL CODES AND HEALTH DEPARTMENT. VERIFY LOCAL REQUIREMENTS PRIOR TO INSTALLATION. PRIOR TO BACKFLOW PREVENTER, INSTALL A NOMINALLY SIZED ISOLATION VALVE.

**6** DOUBLE CHECK ASSEMBLY  
N.T.S.

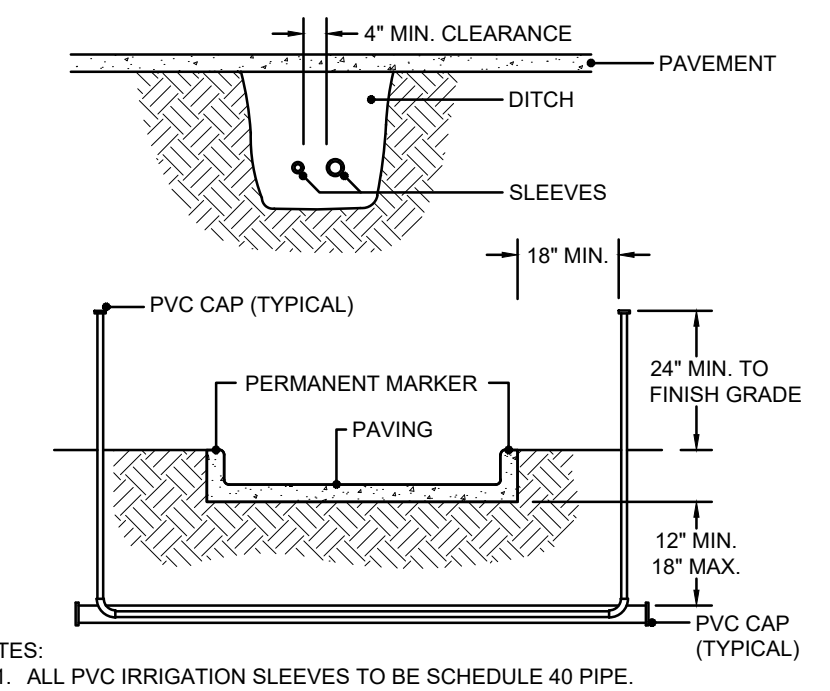


- NOTE:
1. INSTALL WITH CORRECT DECODER AND GROUNDING AND SURGE PROTECTION PER MANUFACTURER'S RECOMMENDATION.

**7** IN-LINE VALVE (ICV) WITH ISOLATION VALVE  
N.T.S.

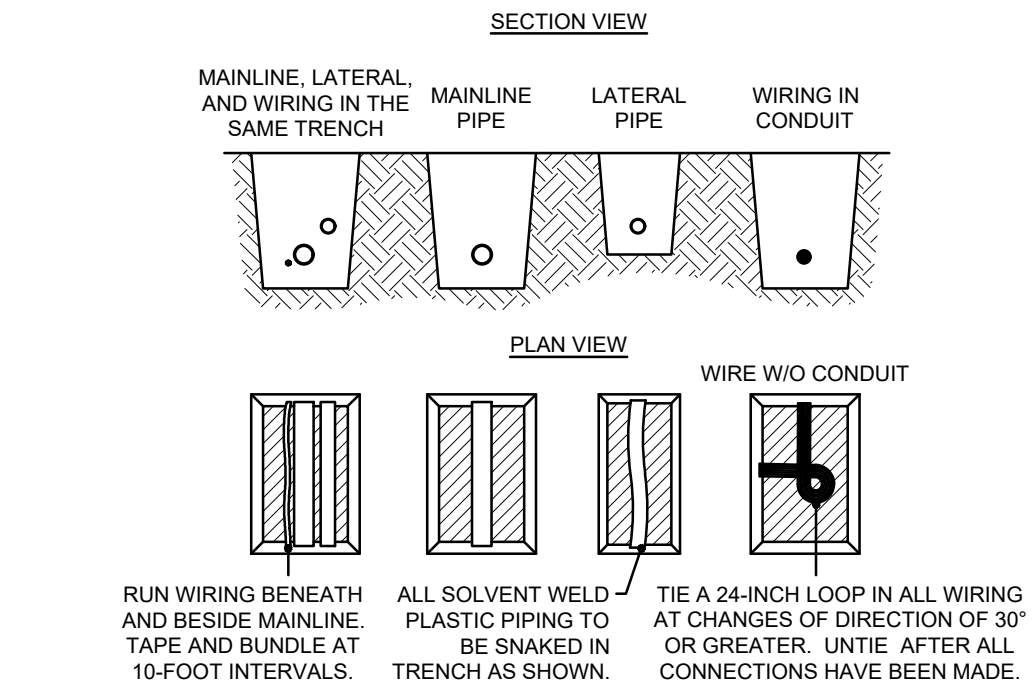


**8** STANDARD VALVE BOXES  
N.T.S.



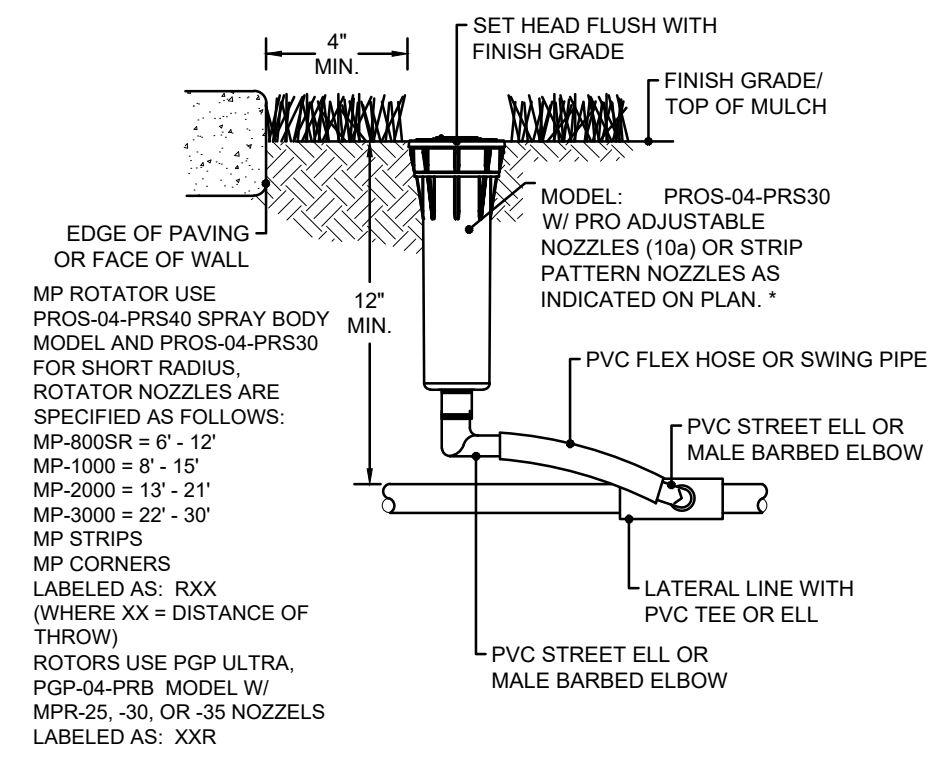
- NOTES:
1. ALL PVC IRRIGATION SLEEVES TO BE SCHEDULE 40 PIPE.
  2. ALL JOINTS TO BE SOLVENT WELDED AND WATER TIGHT.
  3. WHERE THERE IS MORE THAN ONE SLEEVE, EXTEND THE SMALLER SLEEVE TO 24-INCHES MINIMUM ABOVE FINISH GRADE.
  4. MECHANICALLY TAMP TO 95% PROCTOR.
  5. SLEEVE LOCATIONS SHALL BE MARKED ONTO THE TOP OF CURB WITH A SAWCUT OF TWO PARALLEL LINES THAT ARE 2' LONG AND 1" APART.

**9** IRRIGATION PVC SLEEVES  
N.T.S.



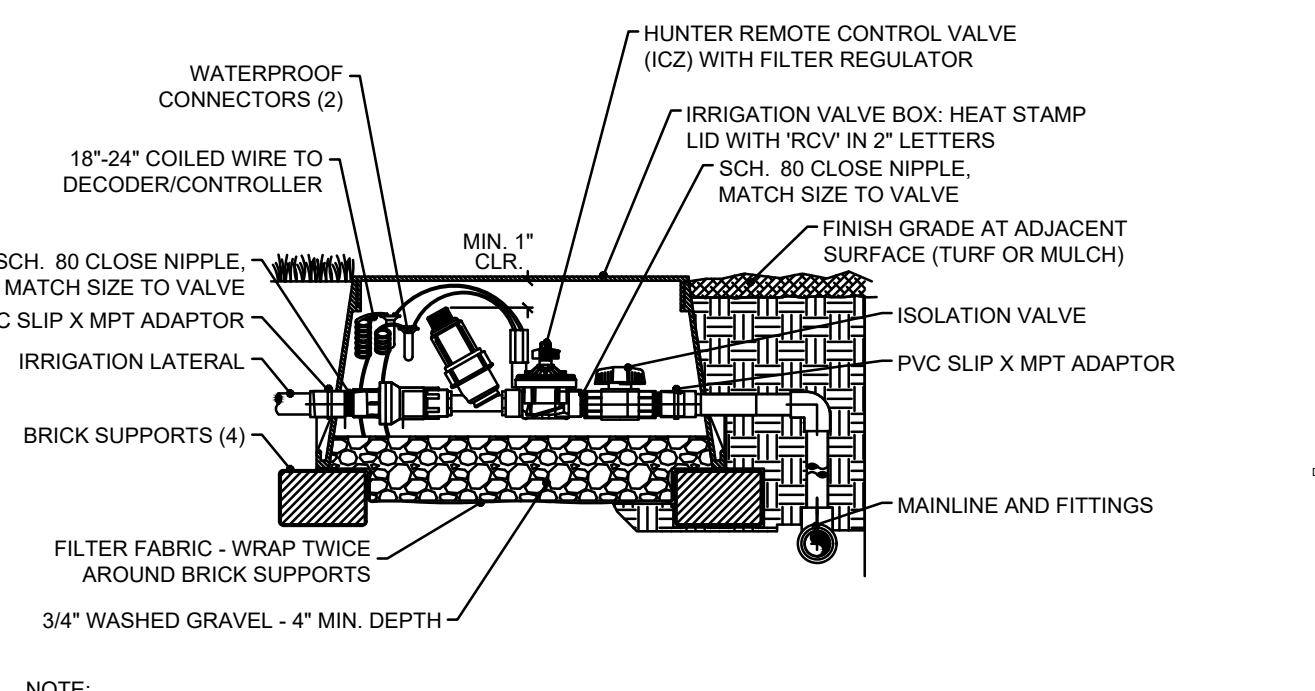
- NOTES:
1. SLEEVE BELOW ALL HARDSCAPE ELEMENTS WITH SCH 40 PVC TWICE THE DIAMETER OF THE PIPE OR WIRE BUNDLE WITHIN.
  2. FOR PIPE AND WIRE BURIAL DEPTHS, SEE SPECIFICATIONS. MINIMUM - 12\"/>

**10** PIPE AND WIRING TRENCHING  
N.T.S.



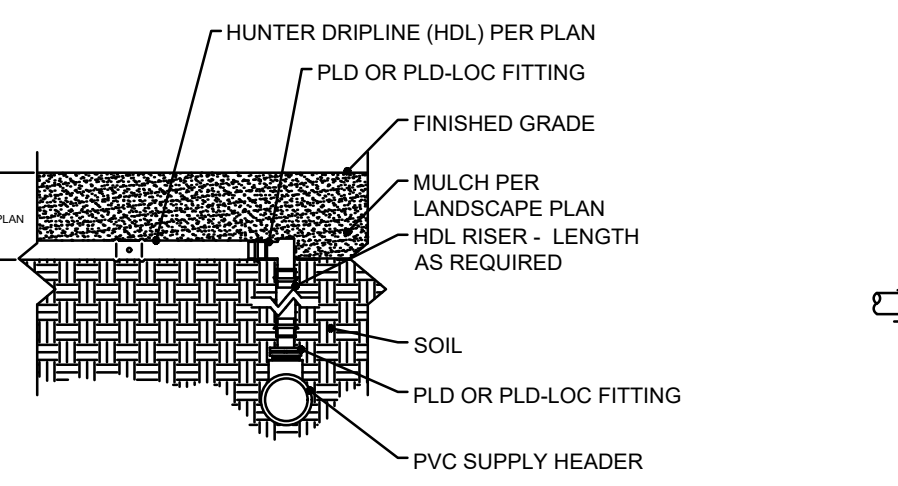
- NOTE:
1. MAY NOT BE USED IN LANDSCAPE AREAS LESS THAN FORTY-EIGHT INCHES (48\") IN LENGTH OR WIDTH.

**11** POP-UP SPRAY BODY OR POP-UP ROTOR  
N.T.S.

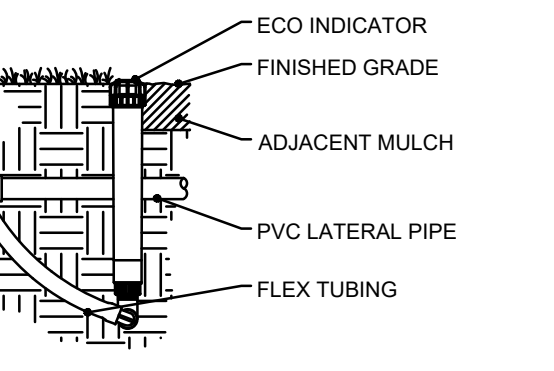


- NOTE:
1. INSTALL WITH CORRECT DECODER AND GROUNDING AND SURGE PROTECTION PER MANUFACTURER'S RECOMMENDATION.

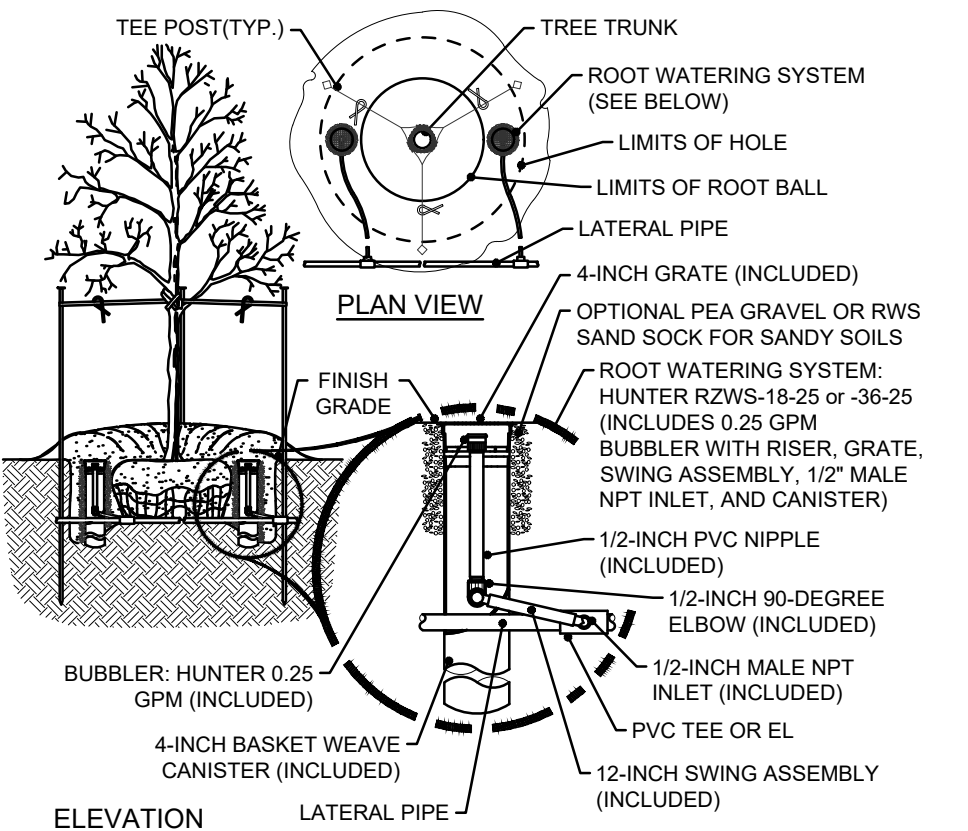
**12** DRIP CONTROL ZONE KIT W/ ISOLATION VALVE  
N.T.S.



**13** HUNTER DRIPLINE CONNECTION W/DRIPLINE AND ELBOW  
N.T.S.



**14** ECO INDICATOR-FLEX TUBING  
N.T.S.



**15** TREE ROOT WATERING SYSTEM  
N.T.S.



04/23/21

**IRRIGATION SPECS/DETAILS**

THE HOPCO WEDGE  
DUNCANVILLE, DALLAS COUNTY, TX

OWNER: ITALY FAMILY PHARMACY, INC.  
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ORIGINAL SUBMITTAL: MAY 8, 2021  
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# Public Notice



### Legend

- Roads
- 102 E. Danieldale Rd.
- 200 ft. buffer
- Parcels within 200 ft. buffer

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# STAFF REPORT

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**To:** Planning and Zoning Commission  
**From:** Desiree' Powell, City Planner  
**Date:** December 2, 2025  
**RE:** Specific Use Permit (SUP) Request| 250 W. Highway 67  
Zone #2025-00018  
**Applicant:** Costco Wholesale| Owner  
David Kopczynski| Agent

---

**REQUEST:** The applicant is requesting a Specific Use Permit (SUP) to add fuel pumps to an existing site as an accessory and incidental use in the General Office Retail (GOR) district

**LOCATION:** 250 W. Highway 67, Duncanville, TX

**EXISTING ZONING:** General Office Retail (GOR)

**PROPOSED ZONING:** General Office Retail (GOR) with an SUP for fuel pumps as an accessory and incidental use

**FUTURE LAND**

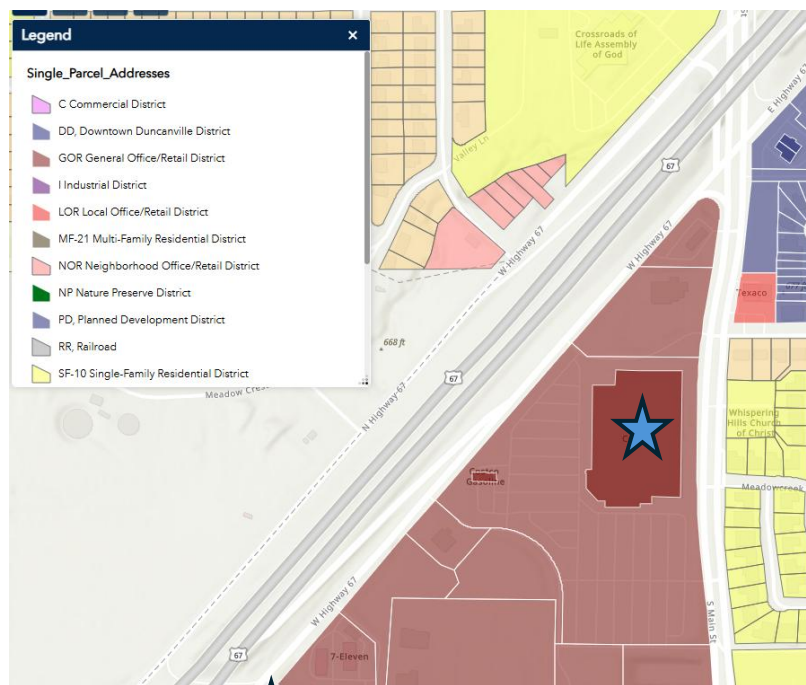
**USE DESIGNATION:** Retail/Commercial

## PROJECT SUMMARY:

The applicant is requesting approval of a Specific Use Permit (SUP) to add fuel pumps in a General Office Retail (GOR) zoning district. Section 3.03 of the Zoning Ordinance states that fuels pumps are an accessory and incidental use that is only permitted with the review and approval of an SUP. The applicant is proposing to construct a service station to include a

10,320 square feet overhead fuel canopy, installation of 15 new multi-product dispensers (MPD), three (3) new 40,000 gallon underground storage tanks (UST), one (1) 1,500 gallon additive UST, one (1) new controller enclosure with restroom and associated site improvements followed by decommissioning and demolition of the existing fuel facility and completion of remaining landscape, lighting, paving, parking and directional striping.

The primary use of the property is retail regional scale, which is allowed in the General Office Retail (GOR) district by right. The accessory use of fuel pumps is the main purpose of the SUP request and review.



**Subject Property** ★

**Figure 1. Zoning Map**

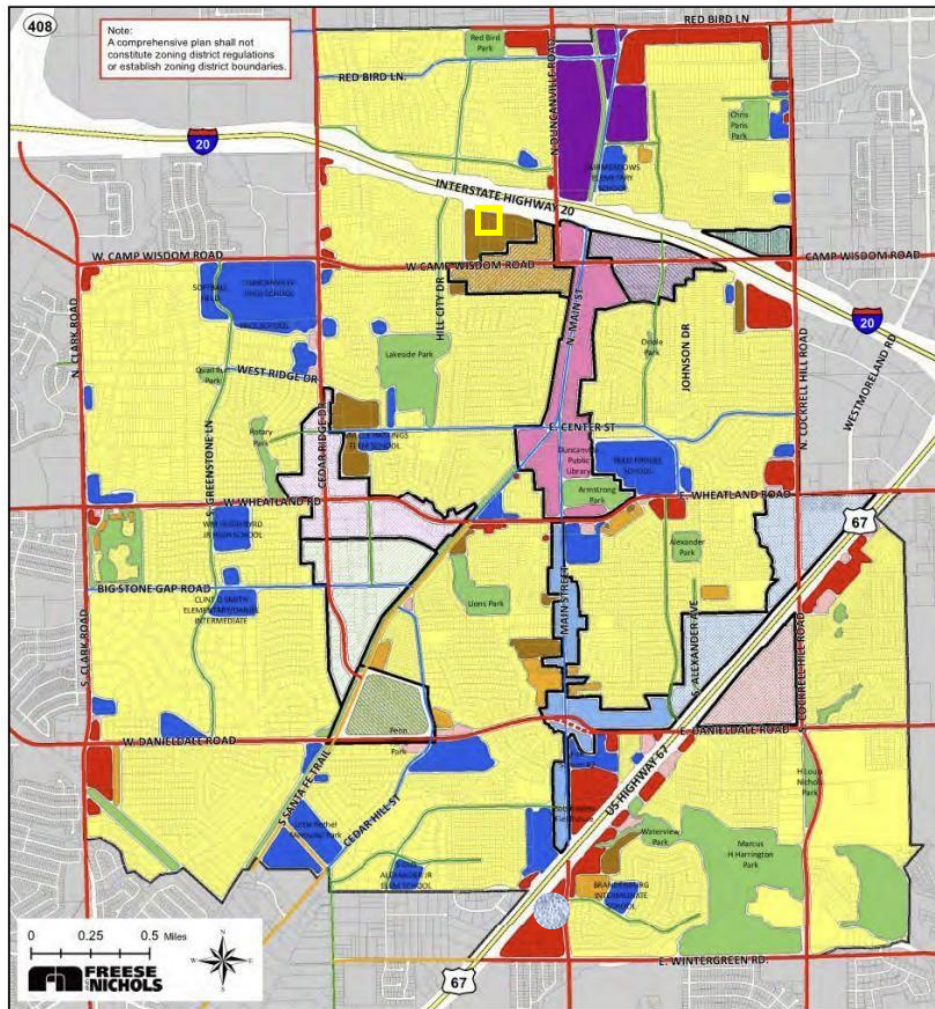
**ZONING DISTRICT DESCRIPTION:**

**Existing:**

The General Office Retail (GOR) district is established to provide for the development of regional serving retail, personal service, and office uses at a scale and intensity compatible with residential communities. Pad site development is also allowed in this zoning district. These areas shall utilize landscape and screening requirements. This district should be

located along or at the intersection of major collectors or thoroughfares to accommodate higher traffic volumes.

**Figure 2: Future Land Use Map**



**Future Land Use**

- Opportunity Area 1
- Opportunity Area 2
- Opportunity Area 3
- Opportunity Area 4
- Opportunity Area 5
- Opportunity Area 6
- Opportunity Area 7
- Opportunity Area 8
- Low Density Residential
- Medium Density Residential
- High Density Residential
- Downtown District
- Main Street District
- Office
- Retail/Commercial
- Industrial
- Parks and Open Space
- Public/Semi-Public (ISD)
- Streams
- City Limits

**Subject Property:** 

## **FUTURE LAND USE DESCRIPTION:**

**Retail/Commercial** establishments have goods for purchase by the general public and generating sales tax revenue. Retail uses require high visibility locations such as along arterial roadways. Examples of retail uses include clothing stores, dry cleaners, and branch banks. The following are policies to guide retail areas:

- Retail should be located at high points of visibility
- They should serve as a buffer and transition between higher and lower intensity uses

Remaining interstate frontage in Duncanville is limited, encouraging strategic development and redevelopment that injects high-impact uses are important. Aesthetics are also important, as West US Highway 67 is a key gateway into the City. The future land use of US Highway 67, particularly near Costco, is clearly centered on commercial and retail expansion. With active projects and zoning adjustments already in motion, and a citywide Comprehensive Plan update soon to be adopted, the corridor is poised to strengthen its role as a key commercial spine in Duncanville.

## **IMAGE ZONES:**

The City of Duncanville's Comprehensive Plan designates West U.S. Highway 67 as a Retail/Commercial corridor, recognizing its strategic importance for economic activity and public visibility. This area is also identified as part of an Image Zone—a district intended to feature enhanced branding, design, and aesthetic treatments to establish it as a distinct and recognizable destination within the city. Image Zones are characterized by elements such as upgraded landscaping at key intersections and along roadways, ornamental lighting, cohesive signage, and gateway features like banners or public art. These enhancements are intended to reinforce the identity of the corridor, improve the visual experience for residents and visitors, and support investment in surrounding commercial properties. The proposed development aligns with the intent of the Image Zone by contributing to a more complete and service-oriented commercial environment along the Highway 67 corridor.

## **GATEWAYS:**

Additionally, the intersection of West US Highway 67 and South Main Street is identified as a Minor Gateway in the comprehensive plan. Like Major gateways, minor gateways also mark entrances to the City, but at lower capacity roadways. Gateway signage is smaller scale because they are located where vehicular trips are more local and traffic is slower moving.

**USE DEFINITIONS:**

Article VII Section 7.02.B Accessory and Incidental Uses

*Fuel Pumps: Any lot or parcel of land or portion thereof used partly or entirely for storing or dispensing flammable liquids, combustible liquids, liquefied flammable gas, or flammable gas into the fuel tanks of motor vehicles. Such use is permitted only in conjunction with Retail or Grocery principal use.*

**SURROUNDING ZONING AND DEVELOPMENT:**

- **NORTH:** General Office Retail (GOR)
  - Restaurant, Pappa's BBQ
- **EAST:** Single Family 10 Residential District (SF-10), Single Family 7 Residential District (SF-7)
  - Silver Creek Estates
  - Whispering Hills Subdivision
  - Whisper Hills Church of Christ
- **SOUTH:** General Office Retail (GOR)
  - Vacant land, undeveloped
- **WEST:** Highway 67

**PUBLIC INPUT:**

*Staff mailed 20 notices. At the time of preparation of this report staff has not received any responses supporting or in opposition to the proposed rezoning request.*

**STAFF REVIEW:**

**SITE PLAN**

The site plan submitted by the applicant included the plans specifically addressing the location and development standards of the proposed fuel pump expansion. These on-site relocation plans included TESC and Demolition Plans, Site and Horizontal Control Plans, Grading Plans, Grading Details, Drainage and Utility Plans, and Construction Details. Although this request is for the fuel pumps exclusively, the site plan must be reviewed for compliance in its entirety.

**KEY FEATURES OF AN SUP:**

- a. **The proposed use is consistent and compatible with the adjacent land use and zoning.**

The proposed use is consistent and compatible with adjacent land uses and zoning. The subject property is zoned General Office/Retail (GOR), which allows fuel pumps only with approval of a Specific Use Permit (SUP). Staff finds the proposed use, a retail store with accessory fuel pumps, to be appropriate within this zoning district and compatible with nearby developments of similar character and intensity.

To the northeast, across South Main Street, there is an existing Texaco gas station that includes a retail convenience store as the primary use and fuel pumps as an accessory and incidental use. Similarly, to the southwest, bordering West Highway 67, a 7-Eleven gas station operates with general retail and a convenience store as the primary use, also featuring fuel pumps as an accessory use. These adjacent uses reinforce the commercial nature of the corridor and demonstrate established precedent for this type of development in the immediate area. To the east of the subject property are Single-Family-7 (SF-7) and SingleFamily10 (SF-10) residential homes, which are separated from the proposed site by zoning buffers and setback requirements. Additionally, to the north, a Planned Development (PD) zoning district includes a mix of retail and office uses, further supporting the area's compatibility with limited commercial services.

Staff conclude that the proposed fuel pumps do not conflict with the surrounding land uses and that the requested Specific Use Permit is the minimum mechanism necessary to authorize this accessory use under current zoning regulations.

**b. The proposed use is consistent with the architecture and characteristics of the adjacent properties.**

The proposed use is consistent with the architecture and overall character of adjacent properties. The project includes a 64.5-foot by 160-foot canopy structure to cover the fuel pumps, designed to mirror the architectural style and characteristics of existing fuel pump accessory located on the southern side of the property. The canopy will shelter a total of 15 multi-product dispensers, and its design, materials, and scale are intended to integrate seamlessly with the surrounding built environment. Staff finds that the proposed architectural elements and materials are compatible with adjacent properties and consistent with the commercial development patterns along this corridor.

**c. The proposed use may promote innovative use of modern development concepts, without having an adverse impact on adjacent properties.**

Staff finds that the proposed use follows the development standards set forth in the City of Duncanville Zoning Ordinance and does not foresee an adverse impact on adjacent properties.

**d. The proposed use is consistent with the goals and objectives of the City.**

The proposed use is consistent with the goals and objectives of the City of Duncanville. The Comprehensive Plan envisions continued Retail and Commercial development along key corridors, including the area surrounding West Highway 67 and West Wintergreen Road. This area is already developed with major retail, including the existing Costco, which currently operates a fuel station on the same property. The addition of an expanded or secondary fuel pump station on the Costco site enhances the site's function as a regional retail hub. By increasing fuel service capacity, the proposal supports the City's broader goals of improving access to essential services, enhancing the efficiency of high traffic retail centers, and reinforcing the viability of key commercial corridors. As such, the proposed use directly contributes to the City's long-term vision for balanced, service-oriented commercial growth.

**e. The proposed use is an enhancement or improvement beyond the minimum standards set forth by the Zoning Ordinance.**

Staff finds that the proposed use meets the minimum standards set forth by the zoning ordinance.

**f. The proposed use will not be detrimental to the general health, safety, and welfare of the community.**

The proposed use should not be detrimental to the general health, safety, and welfare of the community. Fueling stations are held to strict health and safety regulations at the national level.

**g. The proposed use would stabilize and improve property values within the City.**

Staff cannot prove or disprove that the proposed use would stabilize and improve property values within the City.

**h. The proposed use would protect and enhance the City's attractiveness to residents, businesses, tourists, and visitors.**

Staff cannot speak to how the proposed use would protect and enhance the City's attractiveness to residents, businesses, tourists, and visitors. Staff recognizes that fuel stations are a fundamental amenity that supports both local and regional activity. The addition of fuel pumps on a high-traffic retail site such as Costco may enhance convenience and accessibility for shoppers, travelers, and commuters, which can contribute to a more functional and service-oriented retail/commercial environment. While staff cannot definitively determine the broader impact on the City's image or appeal, the proposed use does align with infrastructure and service expectations typical of a well-developed retail corridor.

- i. **The proposed use would strengthen and help diversify the economy of the City.**

Staff cannot speak to how the proposed use would strengthen and help diversify the economy of the City.

**STAFF RECOMMENDATION:**

Approve. Staff finds that the proposed accessory and incidental fuel pump use and associated development satisfy and exceed the minimum requirements set forth in the City of Duncanville Zoning Ordinance. Staff understand that review and consideration of this Specific Use Permit (SUP) is the minimum path necessary for the proposed use.

**FIGURES:**

Figure 1: Zoning Map

Figure 2: Future Land Use Map

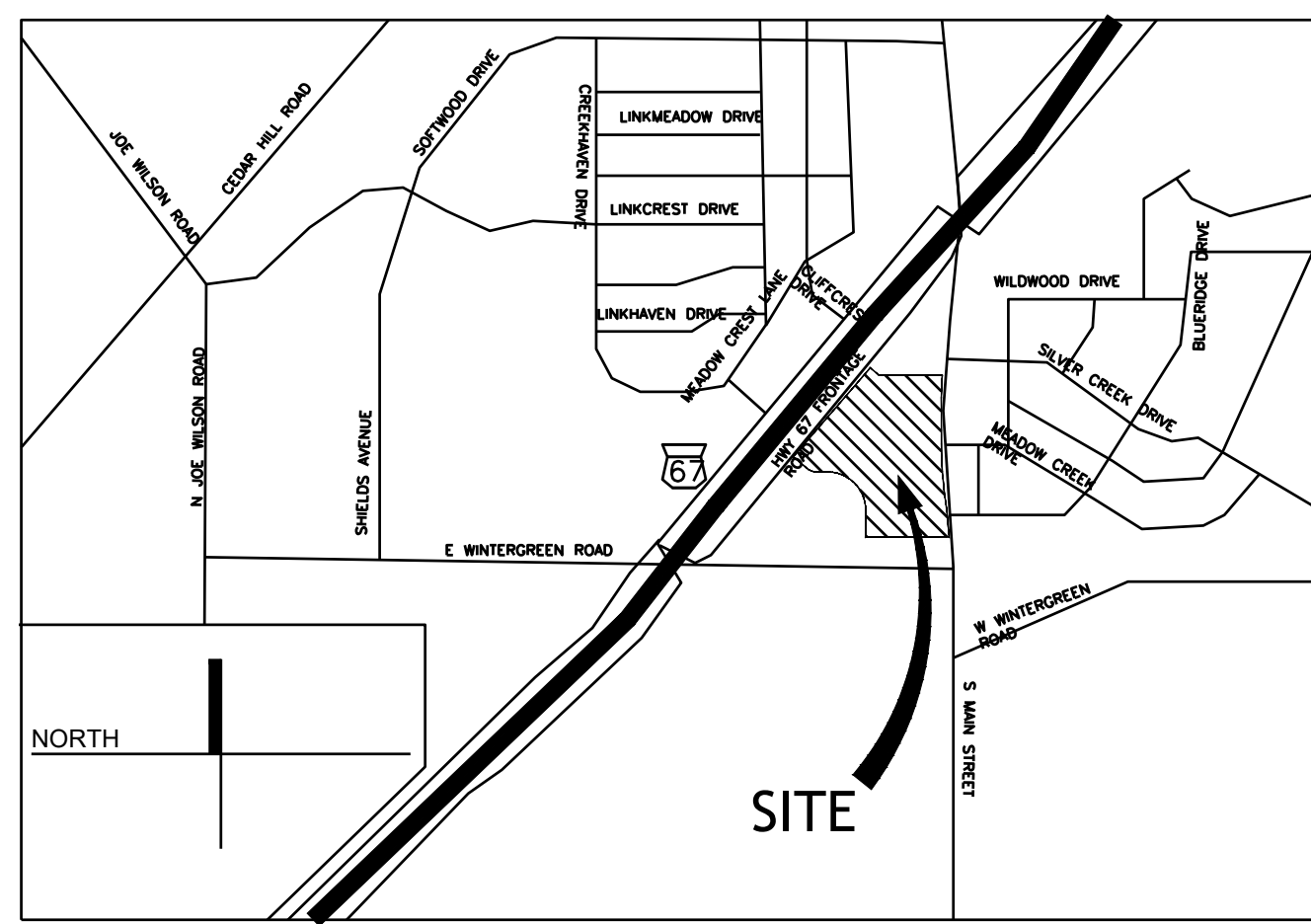
**ATTACHMENTS:**

Attachment 1: Site Plan

Attachment 2: Landscape Plan

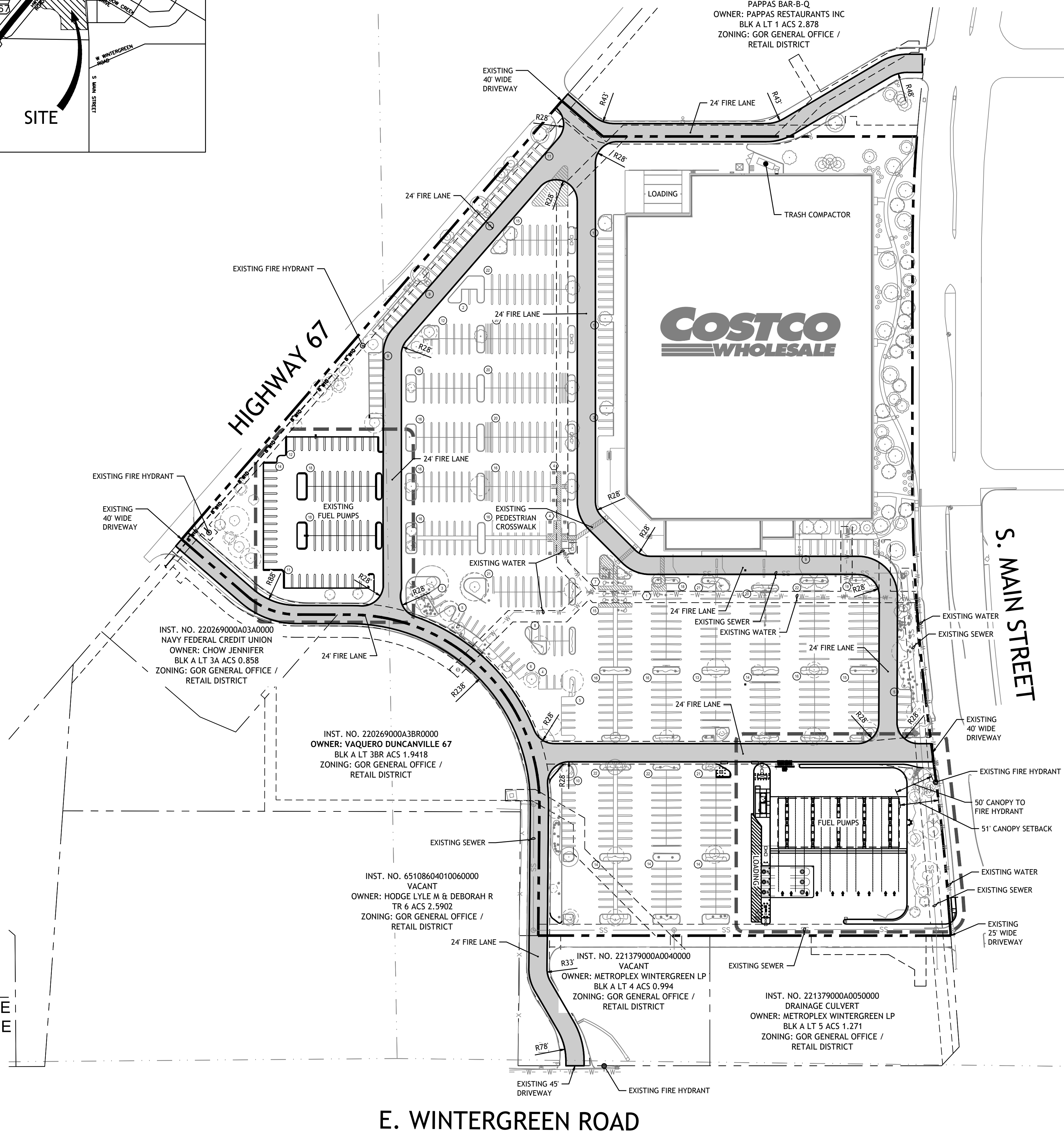
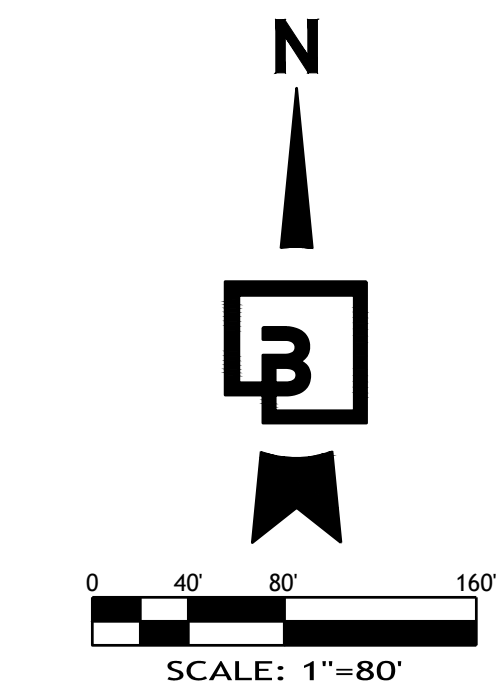
Attachment 3: Map of properties within 200 ft

# VICINITY MAP



## COSTCO WHOLESALE FUEL FACILITY EXPANSION 250 W. HIGHWAY 67 DUNCANVILLE, TX 75137 COSTCO WHOLESALE FACILITY #636

INST. NO. 221157500A0010000  
PAPPAS BAR-B-Q  
OWNER: PAPPAS RESTAURANTS INC  
BLK A LT 1 ACS 2.878  
ZONING: GOR GENERAL OFFICE /  
RETAIL DISTRICT



**LEGEND**  
-W- -W- -W- EXISTING WATER LINE  
-SS- -SS- -SS- EXISTING SEWER LINE

Know what's below.  
Call before you dig.  
Dial 811  
Or 1-800-344-8377

## PROJECT DATA

CLIENT: COSTCO WHOLESALE  
730 LAKE DRIVE  
ISSAQUAH, WA 98027

PROJECT ADDRESS: 250 W. HIGHWAY 67  
DUNCANVILLE, TX 75137

ZONING: GOR (GENERAL OFFICE/RETAIL)

LAND USE: RETAIL, REGIONAL SCALE  
WITH FUEL PUMPS

SITE AREA: 16.46 ACRES ( 629,880 S.F.)

JURISDICTION: DUNCANVILLE, TEXAS

SETBACKS: FRONT YARD: 25'  
SIDE YARD: 25'  
INTERIOR SIDE YARD: 0'  
REAR YARD: 25'

**BUILDING DATA:**

EXIST. BUILDING AREA	145,056 S.F.
EXIST. TIRE CENTER	5,200 S.F.
EXIST. FOOD SERVICE	1,069 S.F.
TOTAL EXIST. BUILDING	151,325 S.F.

LOT COVERAGE: 25.7%

EXISTING FUEL FACILITY	6 DISPENSERS
RELOCATED FACILITY	15 DISPENSERS
(NINE (9) NEW DISPENSERS TOTAL)	

**PARKING DATA:**

PARKING PROVIDED:	
EXISTING STALLS	789 STALLS
STALLS REMOVED	44 STALLS
TOTAL PARKING	745 STALLS

PARKING REQUIRED BY JURISDICTION 303 STALLS  
(1 STALL PER 500 S.F.)

- NOTES:**
- 1) THE SUBJECT SITE IS LOCATED WITHIN THE ZONE X (FEMA FIRM NO 48113C0610K DATED JULY 7, 2014 AND THIS PROJECT WILL NOT BE SUBJECT TO ANY FLOOD CONTROL REQUIREMENTS
  - 2) ALL THE LANDSCAPING SHOWN IS PROVIDED IN DETAIL ON LANDSCAPE PLAN WITH THE REQUIRED LANDSCAPING (INCLUDING EXISTING AND PROPOSED LANDSCAPE, PLANT TYPES, TREES ETC.)

Revision  
No. Date By Ctd. Appr.

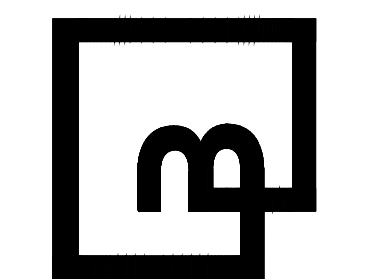
OVERALL SITE PLAN  
250 W. HIGHWAY 67  
DUNCANVILLE, TEXAS 75137  
COSTCO WHOLESALE FACILITY #636  
CASE NO: ZONE-2025-00018

COSTCO WHOLESALE  
730 LAKE DRIVE  
ISSAQUAH, WA 98027

For: **PRELIMINARY**

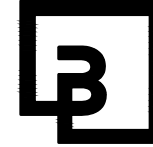
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Designed: EMM Checked: Approved: Date: 10/2/25

**Barghausen Consulting Engineers, LLC.**  
18215 72nd Avenue South  
Kent, WA 98032  
425.251.6222 [barghausen.com](http://barghausen.com)



Job Number: 12217  
Sheet: DD-1

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**COSTCO WHOLESALE FUEL FACILITY EXPANSION**  
**250 W. HIGHWAY 67**  
**DUNCANVILLE, TX 75137**  
**COSTCO WHOLESALE FACILITY #636**

HIGHWAY 67

15' W.E.  
INST. NO. 200600079116  
P.R.D.C.T.

LOT 3A, BLOCK A  
DUNCANVILLE 67 ADDITION  
INST. NO. 202000165108  
P.R.D.C.T.

15' W.E.  
INST. NO. 202000165108  
P.R.D.C.T.

15' W.E.  
INST. NO. 200600079116  
P.R.D.C.T.



No.	Date	By	Chd.	Appr.	Revision

Title:

**DETAILED SITE PLAN**  
**250 W. HIGHWAY 67**  
**DUNCANVILLE, TEXAS 75137**  
**COSTCO WHOLESALE FACILITY #636**  
**CASE NO: ZONE-2025-00018**

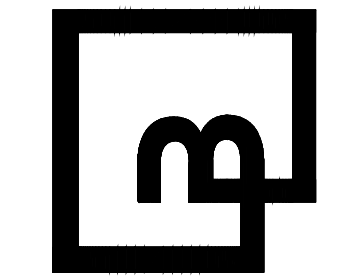
**Costco WHOLESALE**  
**COSTCO WHOLESALE**  
**730 LAKE DRIVE**  
**ISSAQUAH, WA 98027**

For:

**PRELIMINARY**

Designed	Drawn	Checked	Approved	Date

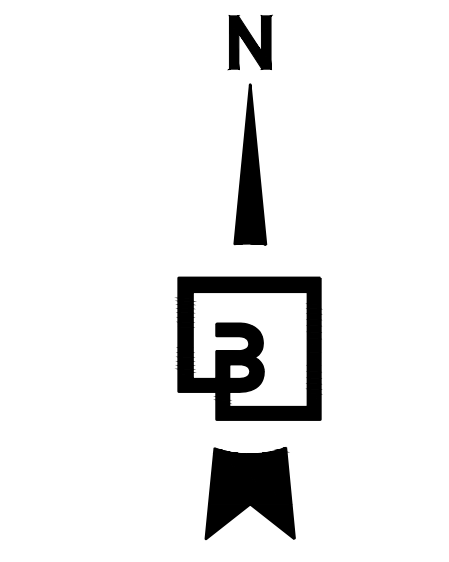
**Barghausen Consulting Engineers, LLC.**  
18215 72nd Avenue South  
Kent, WA 98032  
425.251.6222 [barghausen.com](http://barghausen.com)



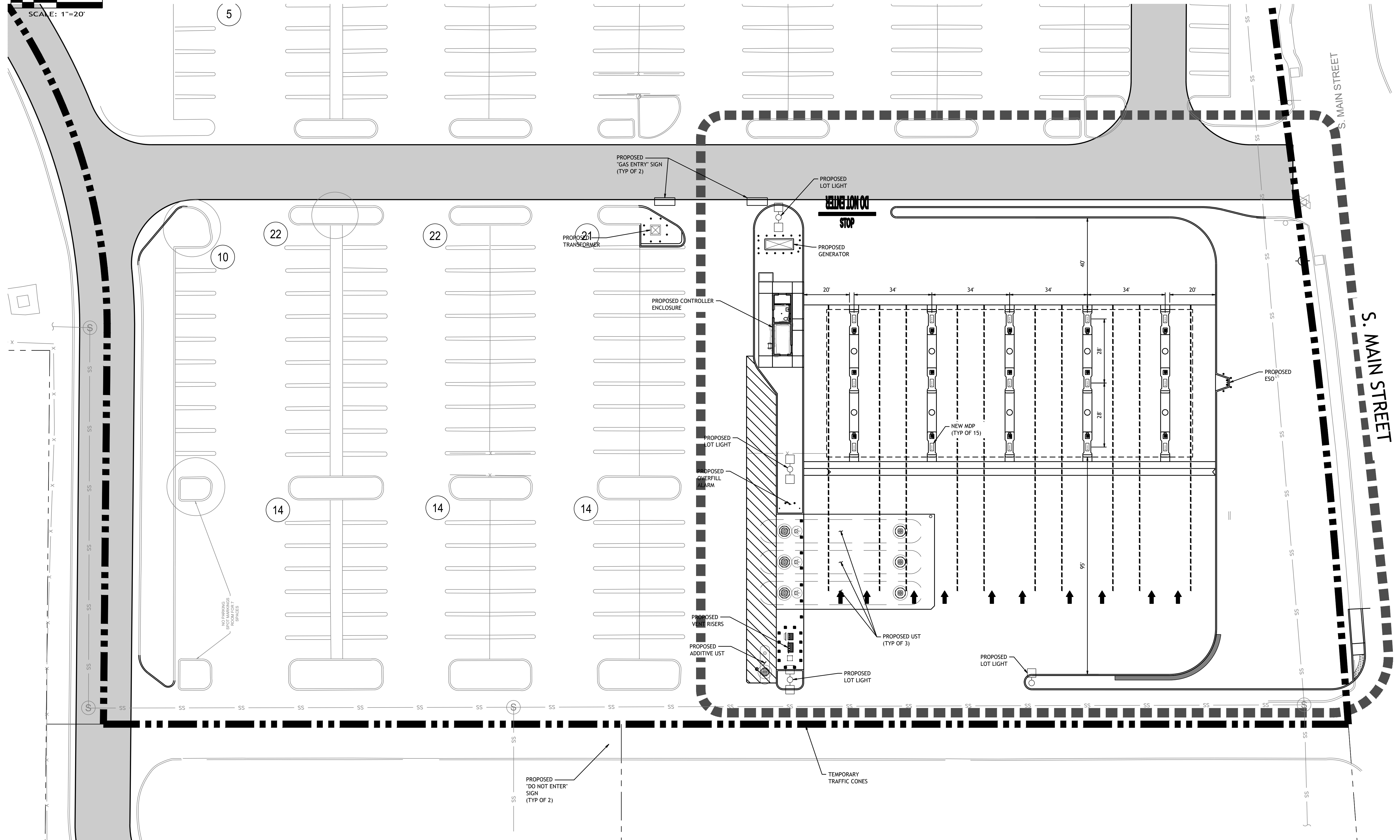
Job Number  
**12217**

Sheet  
**DD-2a**

**COSTCO WHOLESALE FUEL FACILITY EXPANSION**  
**250 W. HIGHWAY 67**  
**DUNCANVILLE, TX 75137**  
**COSTCO WHOLESALE FACILITY #636**



0 10' 20' 40'  
 SCALE: 1"=20'



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 Or 1-800-344-8377

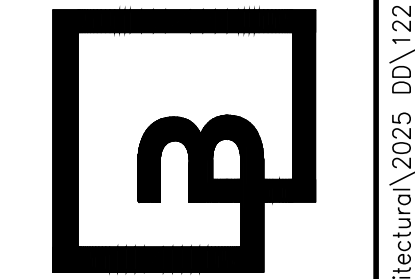
No.	Date	By	Chd.	Appr.	Revision

**Costco WHOLESALE**  
 COSTCO WHOLESALE  
 730 LAKE DRIVE  
 ISSAQUAH, WA 98027

**PRELIMINARY**

Designed	ENM	Scale:	Horizontal
Drawn		Vertical	N/A
Checked		Date	10/2/25
Approved			

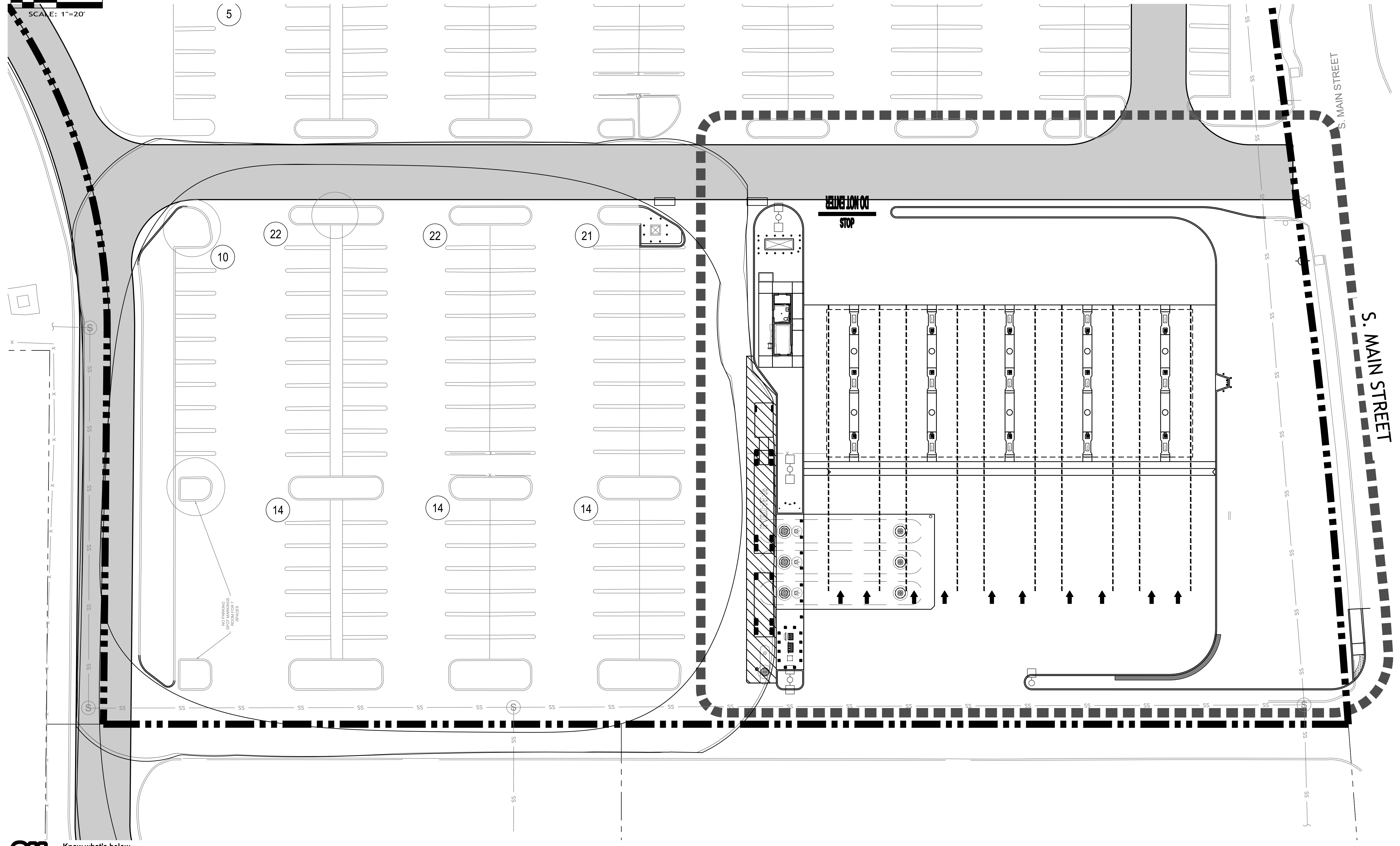
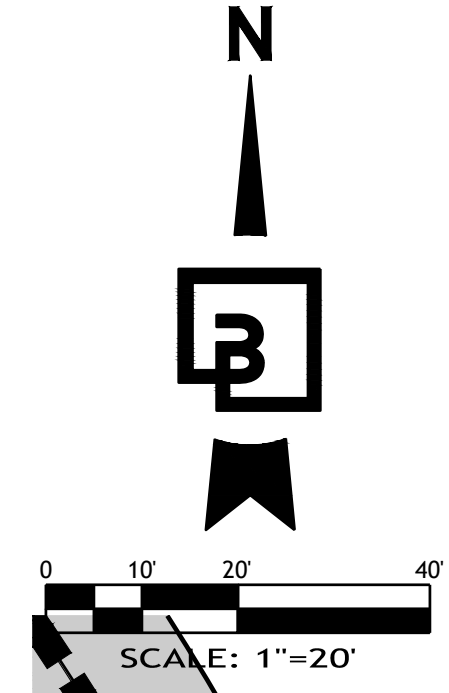
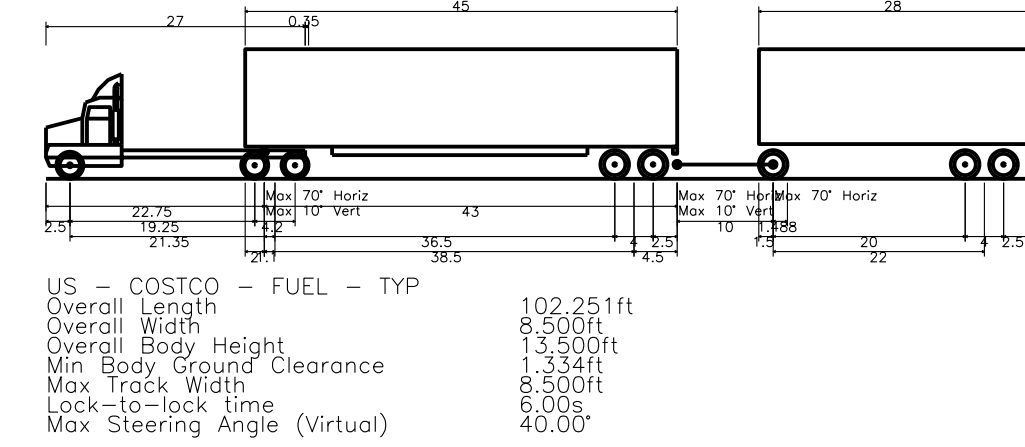
**Barghausen Consulting Engineers, LLC.**  
 18215 72nd Avenue South  
 Kent, WA 98032  
 425.251.6222 [barghausen.com](http://barghausen.com)



Job Number  
**12217**  
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**DD-2b**

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**COSTCO WHOLESALE FUEL FACILITY EXPANSION**  
**250 W. HIGHWAY 67**  
**DUNCANVILLE, TX 75137**  
**COSTCO WHOLESALE FACILITY #636**



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Job Number <b>12217</b>	Sheet <b>DD-4</b>	 <b>Barghausen Consulting Engineers, LLC.</b> 18215 72nd Avenue South Kent, WA 98032 425.251.6222 <a href="http://barghausen.com">barghausen.com</a>	Designed _____	Scale: Horizontal	For:  COSTCO WHOLESALE 730 LAKE DRIVE ISSAQUAH, WA 98027	Title: DETAILED SITE PLAN 250 W. HIGHWAY 67 DUNCANVILLE, TEXAS 75137 COSTCO WHOLESALE FACILITY #636 CASE NO: ZONE-2025-00018
			Drawn <u>ENM</u> Checked _____ Approved _____ Date <u>10/2/25</u>	Vertical N/A		

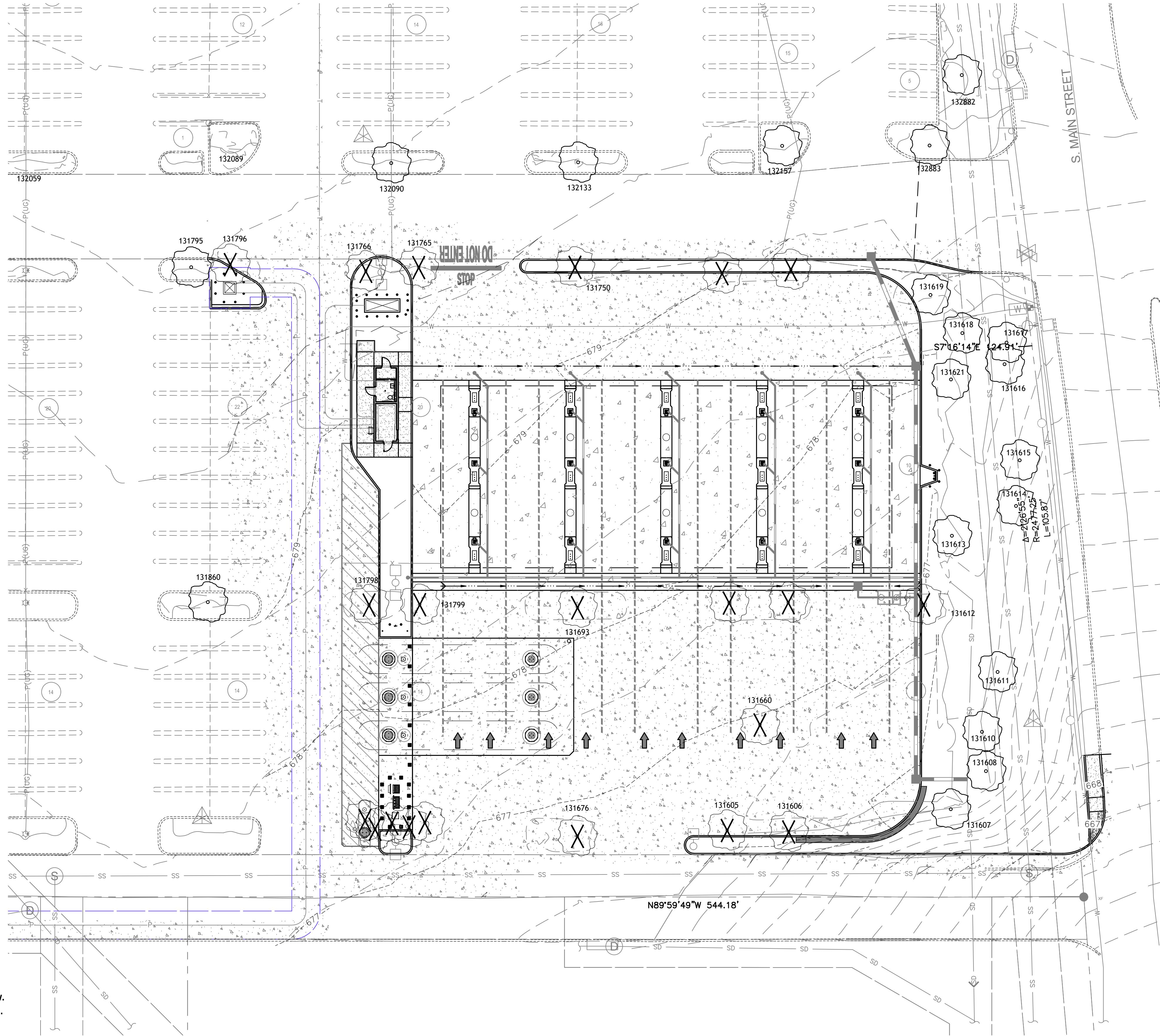
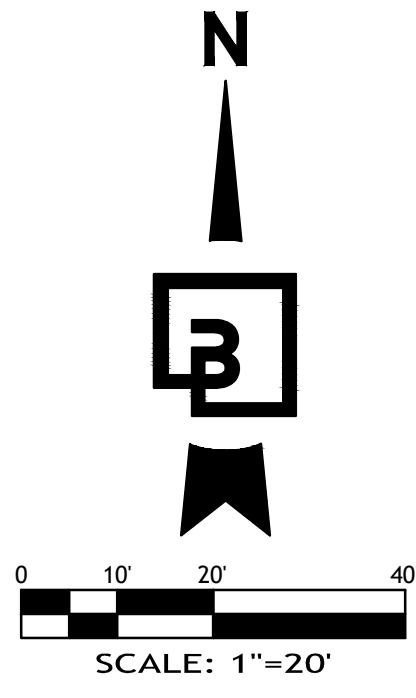
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# TREE RETENTION PLAN

## COSTCO WHOLESALE ON-SITE RELOCATION

### 250 W. HIGHWAY 67 DUNCANVILLE, TEXAS 75137

### COSTCO WHOLESALE FACILITY #636



TREE TABLE		TREE TABLE	
NO.	DESCRIPTION	NO.	DESCRIPTION
131605	13" OAK	132002	CREPE MYRTLE
131606	12" OAK	132019	CREPE MYRTLE
131607	CREPE MYRTLE	132041	7" OAK
131608	CREPE MYRTLE	132059	7" OAK
131610	9" OAK	132089	3" OAK
131611	15" OAK	132090	7" OAK
131612	13" OAK	132133	8" OAK
131613	11" OAK	132157	14" OAK
131614	9" OAK	132230	10" LIVE OAK
131615	CREPE MYRTLE	132231	14" LIVE OAK
131616	CREPE MYRTLE	132232	14" OAK
131617	CREPE MYRTLE	132247	CREPE MYRTLE
131618	CREPE MYRTLE	132292	CREPE MYRTLE
131619	CREPE MYRTLE	132310	13" CHINABERRY
131621	13" OAK	132331	12" OAK
131660	15" OAK	132375	15" OAK
131676	9" OAK	132376	13" LIVE OAK
131693	10" OAK	132405	12" OAK
131750	7" CHINABERRY	132416	17" LIVE OAK
131765	CREPE MYRTLE	132440	CREPE MYRTLE
131766	CREPE MYRTLE	132441	CREPE MYRTLE
131795	CREPE MYRTLE	132442	CREPE MYRTLE
131796	CREPE MYRTLE	132524	CREPE MYRTLE
131798	CREPE MYRTLE	132525	CREPE MYRTLE
131799	CREPE MYRTLE	132566	8" OAK
131860	10" OAK	132608	9" OAK
131927	3" OAK	132629	CREPE MYRTLE
131928	3" OAK	132650	9" OAK
131947	13" OAK	132840	CREPE MYRTLE
131964	13" OAK	132865	17" OAK
131977	9" OAK	132882	18" OAK
131992	8" OAK	132883	CREPE MYRTLE

TREE INFORMATION SOURCE: KIMLEY-HORN TOPOGRAPHIC AND BOUNDARY SURVEY DATED 4/20/2024

**UTILITY CONFLICT NOTE:**  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POTHOLES THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 811 AND THEN POTHOLES ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT BARGHAUSEN CONSULTING ENGINEERS, LLC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

Revision

No. Date By Ctd. Appr.

Title:

**TREE RETENTION PLAN**  
 250 W. HIGHWAY 67  
 DUNCANVILLE, TEXAS 75137  
 COSTCO WHOLESALE FACILITY #636

**Costco WHOLESALE**  
 COSTCO WHOLESALE  
 730 LAKE DRIVE  
 ISSAQUAH, WA 98027

For:

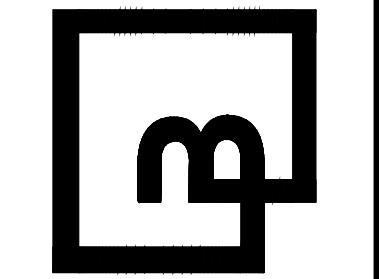


Scale:

Horizontal 1"=20'  
Vertical N/A

Designed JMV  
Drawn JMV  
Checked JMV  
Approved JMV  
Date 11/3/25

**Barghausen Consulting Engineers, LLC.**  
 18215 72nd Avenue South  
 Kent, WA 98032  
 425.251.6222 [barghausen.com](http://barghausen.com)

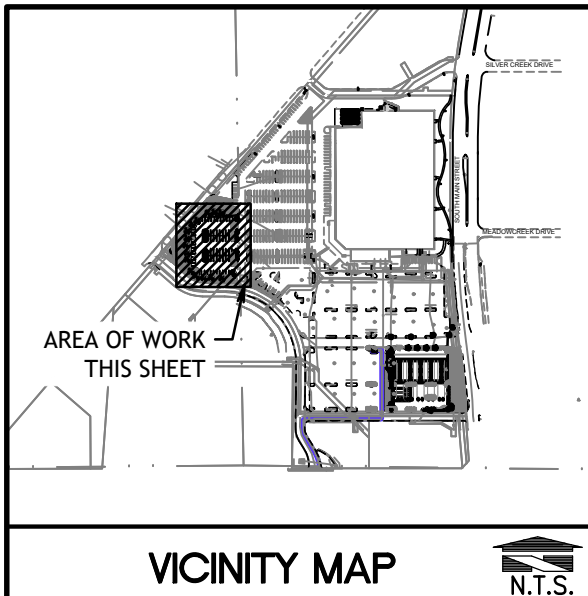


Job Number  
**12217**

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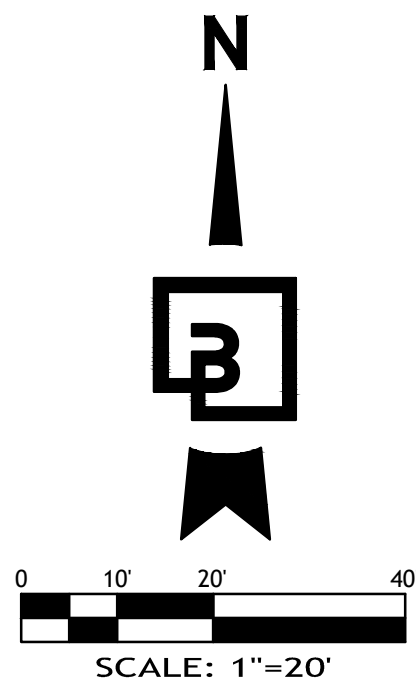
of  
**4**

**811**  
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Or 1-800-344-8377



VICINITY MAP

N.T.S.



# LANDSCAPE PLAN - WEST

## COSTCO WHOLESALE ON-SITE RELOCATION

### 250 W. HIGHWAY 67 DUNCANVILLE, TEXAS 75137

## COSTCO WHOLESALE FACILITY #636

### LEGEND

- EXISTING TREE TO BE RETAINED. PROTECT DURING CONSTRUCTION
- EXISTING LANDSCAPE AND IRRIGATION TO BE RETAINED. PROTECT DURING CONSTRUCTION
- EXISTING LANDSCAPE TO BE REMOVED. REMODEL EXISTING IRRIGATION AS NECESSARY
- EXISTING TREE TO BE REMOVED

### PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAMES	SIZE	SPACING	QUANTITY	REMARKS
<b>TREES:</b>					
	PISTACIA CHINENSIS / CHINESE PISTACHE	15 GAL.	AS SHOWN	16	NOTES FOR ALL TREES: STAKE ONE GROWING SEASON; NURSERY GROWN, BRANCHED AT 5'
	LAGERSTROEMIA INDICA / CRAPE MYRTLE	15 GAL.	AS SHOWN	3	NOTES FOR ALL TREES: STAKE ONE GROWING SEASON; NURSERY GROWN, BRANCHED AT 5'
	QUERCUS VIRGINIANA / SOUTHERN LIVE OAK	15 GAL.	AS SHOWN	16	NOTES FOR ALL TREES: STAKE ONE GROWING SEASON; NURSERY GROWN, BRANCHED AT 5'
<b>TURFGRASS LAWN</b>					
	SEED OR SOD				
<b>MULCH:</b>					
	3"-4" DEPTH WASHED COBBLE MULCH OVER WEED BARRIER FABRIC				
LANDSCAPE CONTRACTOR TO REVISE EXISTING IRRIGATION TO ACCOMMODATE NEW AND REMOVED LANDSCAPE BEDS. INSTALL 4" DEPTH IMPORTED TOPSOIL IN NEW LAWN BEDS					

### LANDSCAPE NOTES

THE OWNER, TENANT, AND THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING. ALL REQUIRED LANDSCAPING SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING AND SUCH ACTIVITIES COMMON TO THE MAINTENANCE OF LANDSCAPING.

LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS, AND OTHER SUCH MATERIAL OR PLANTS NOT A PART OF THE LANDSCAPING.

NO SUBSTITUTIONS FOR PLANT MATERIALS ARE ALLOWED WITHOUT WRITTEN APPROVAL BY THE DIRECTOR AND ACKNOWLEDGED BY AN APPROVAL STAMP ON THE LANDSCAPE PLAN.

THE RIGHT OF WAY ADJACENT TO REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE ADJACENT PROPERTY OWNER IN THE SAME MANNER AS THE REQUIRED LANDSCAPE AREA. ALL DRIVEWAYS WILL MAINTAIN VISIBILITY AS APPROVED BY THE DIRECTOR. ALL PLANTINGS INTENDED FOR EROSION CONTROL WILL BE MAINTAINED. THE CITY MAY REQUIRE REVEGETATION TO PREVENT EROSION OR SLIPPAGE.

ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR. PLANT MATERIALS WHICH DIE SHALL BE REPLACED WITH PLANT MATERIAL OF SIMILAR VARIETY AND SIZE, WITHIN THIRTY (30) DAYS OR A DATE APPROVED BY THE DIRECTOR, BASED ON CURRENT SEASONS AND WEATHER CONDITIONS (E.G. DROUGHT OR FREEZE).

WHEN POWER LINES ARE PRESENT, TREES SHALL NOT BE PLANTED UNDERNEATH AND SHOULD BE ORIENTED IN A MANNER TO AVOID CONFLICT. SUBSTITUTION OF PLANT MATERIAL IS NOT ALLOWED WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE DIRECTOR.

ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS AND EVAPOTRANSPIRATION (ET) WEATHER-BASED CONTROLLERS AND SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR.

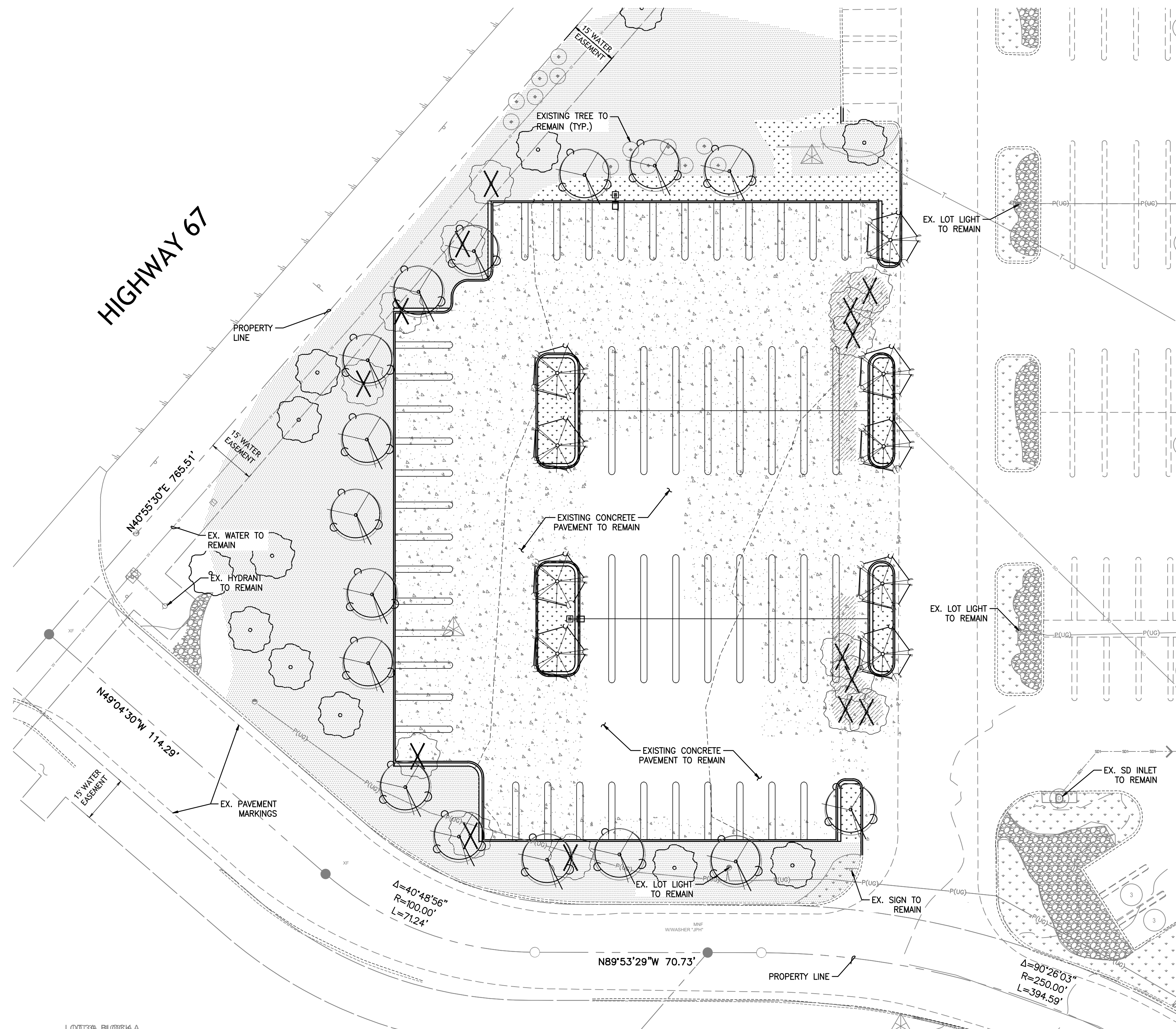
ALL TREES ARE TO BE EQUIPPED WITH A BUBBLER IRRIGATION SYSTEM.

REQUIRED LANDSCAPED OPEN AREAS AND DISTURBED SOIL AREAS SHALL BE COMPLETELY COVERED WITH LIVING PLANT MATERIAL, PER THE LANDSCAPE ORDINANCE.

ALL STREETSCAPE FURNITURE (BENCHES, BOLLARDS, LAMPPOSTS, TRASH RECEPTACLES, PATIO FURNITURE, BIKE RACKS, ETC.) SHALL BE CHIP AND FLAKE RESISTANT METAL, DECORATIVE, AND GENERALLY BLACK 'STORM CLOUD' IN COLOR.

### UTILITY CONFLICT NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POTHOLES THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 811 AND THEN POTHOLES ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT BARGHAUSEN CONSULTING ENGINEERS, LLC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.



Revision  
No. Date By Cld. Appr.

Title:

**COSTCO WHOLESALE**  
COSTCO WHOLESALE  
730 LAKE DRIVE  
ISSAQUAH, WA 98027

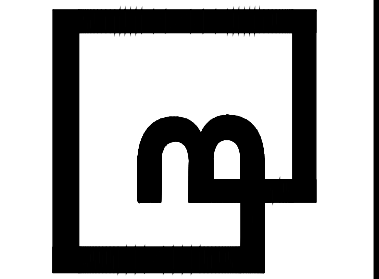
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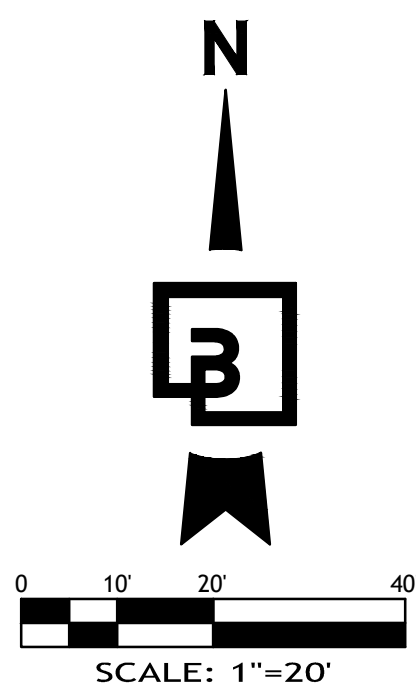
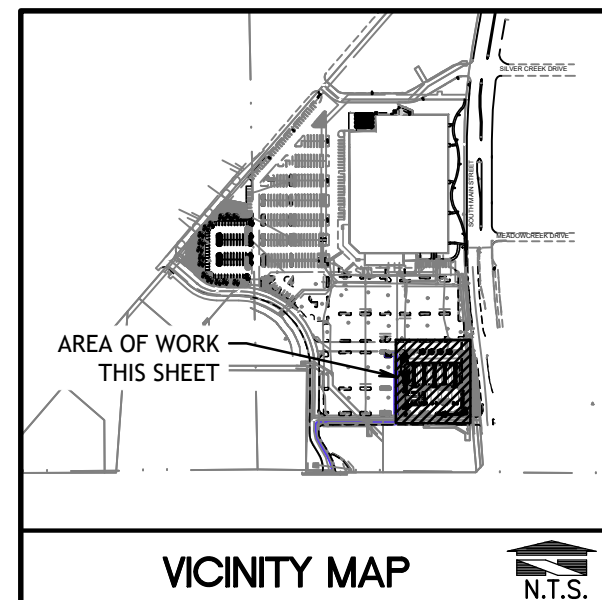
Designed: JMV  
Drawn: JMV  
Checked: JMV  
Approved: JMV  
Date: 11/3/25

**Barghausen Consulting Engineers, LLC.**  
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Kent, WA 98032  
425.251.6222  
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Job Number: 12217  
Sheet: L-2 of 4

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# LANDSCAPE PLAN - EAST

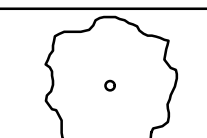
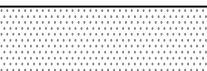
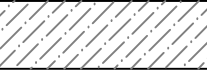

## COSTCO WHOLESALE ON-SITE RELOCATION

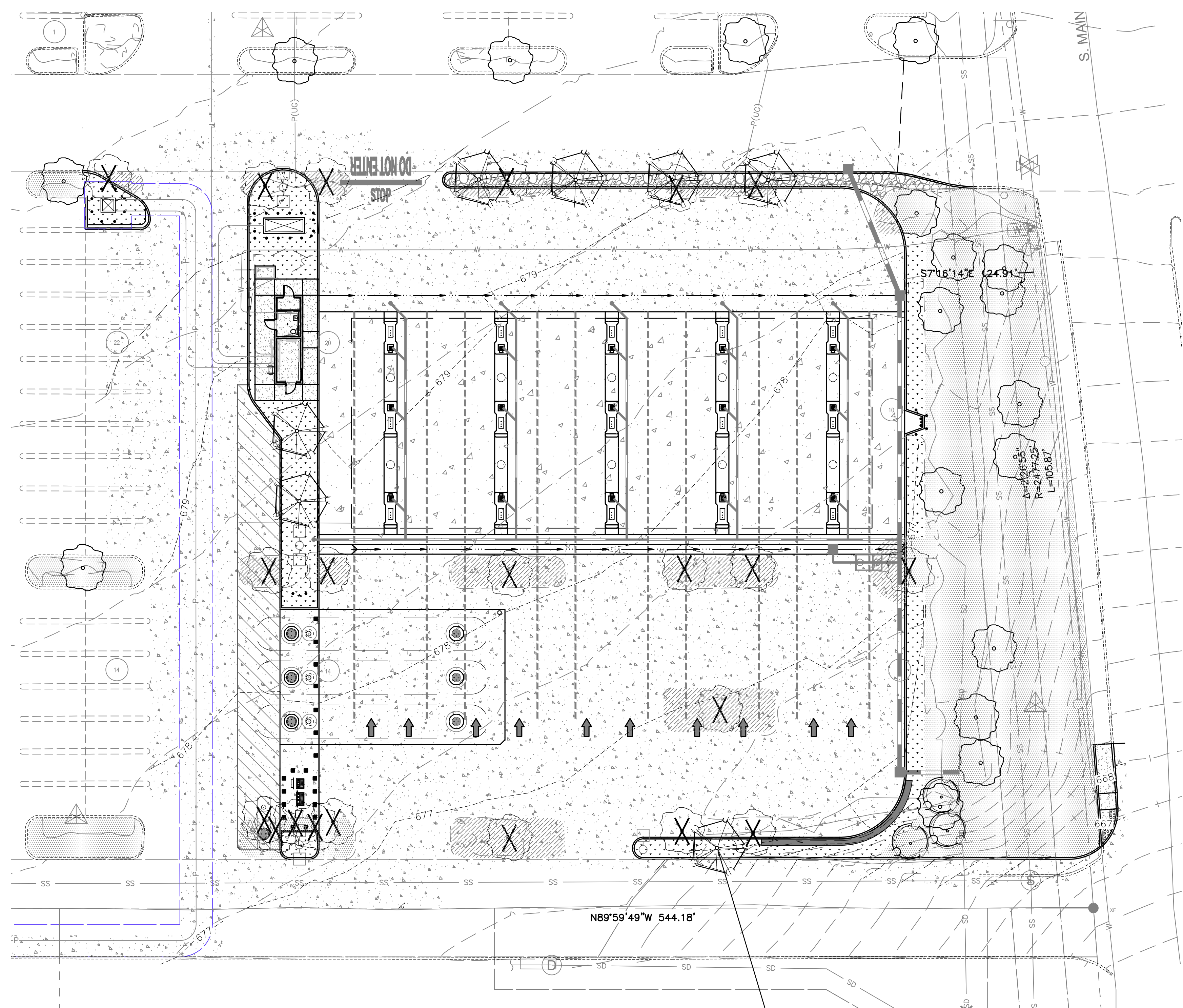
### 250 W. HIGHWAY 67

### DUNCANVILLE, TEXAS 75137

### COSTCO WHOLESALE FACILITY #636

#### LEGEND

-  EXISTING TREE TO BE RETAINED. PROTECT DURING CONSTRUCTION
-  EXISTING LANDSCAPE AND IRRIGATION TO BE RETAINED. PROTECT DURING CONSTRUCTION
-  EXISTING LANDSCAPE TO BE REMOVED. REMODEL EXISTING IRRIGATION AS NECESSARY
-  EXISTING TREE TO BE REMOVED

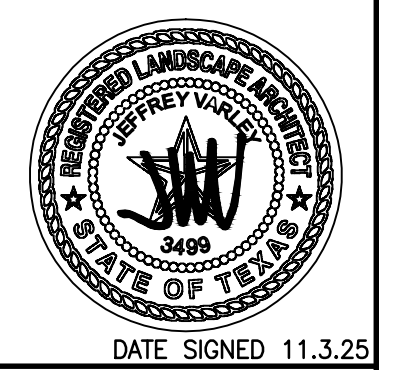


36" DIAMETER WOOD CHIP MULCH RING AROUND TREES LOCATED IN LAWN TYPICAL

No.	Date	By	Ctd.	Appr.	Revision

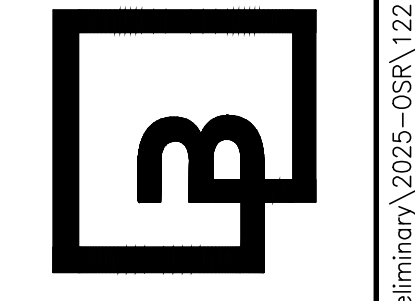
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250 W. HIGHWAY 67  
DUNCANVILLE, TEXAS 75137  
COSTCO WHOLESALE FACILITY #636

**Costco WHOLESALE**  
COSTCO WHOLESALE  
730 LAKE DRIVE  
ISSAQUAH, WA 98027



Designed	JMV	Drawn	JMV	Checked	JMV	Approved	JMV	Date	11/13/25
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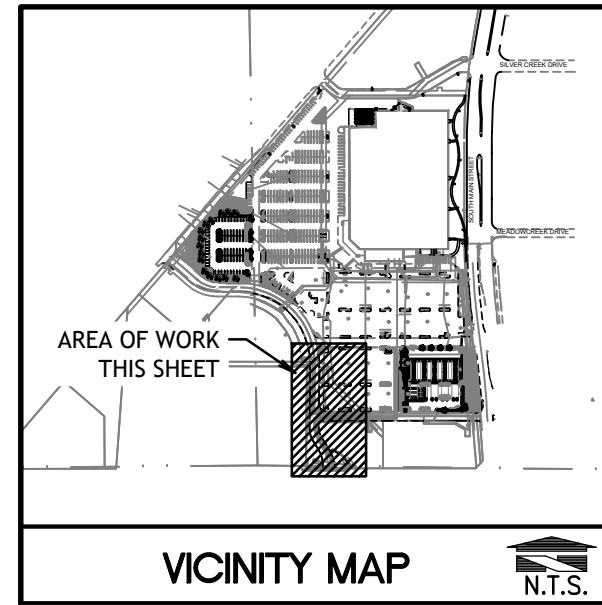
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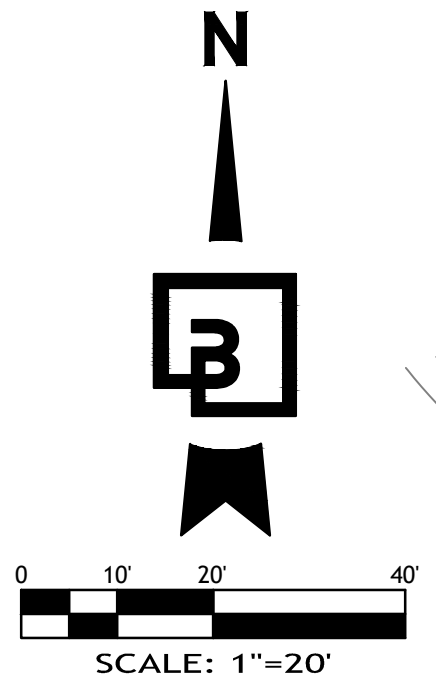
Job Number	12217
Sheet	4
L-3 of	4

**UTILITY CONFLICT NOTE:**  
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VICINITY MAP  
N.T.S.



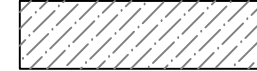



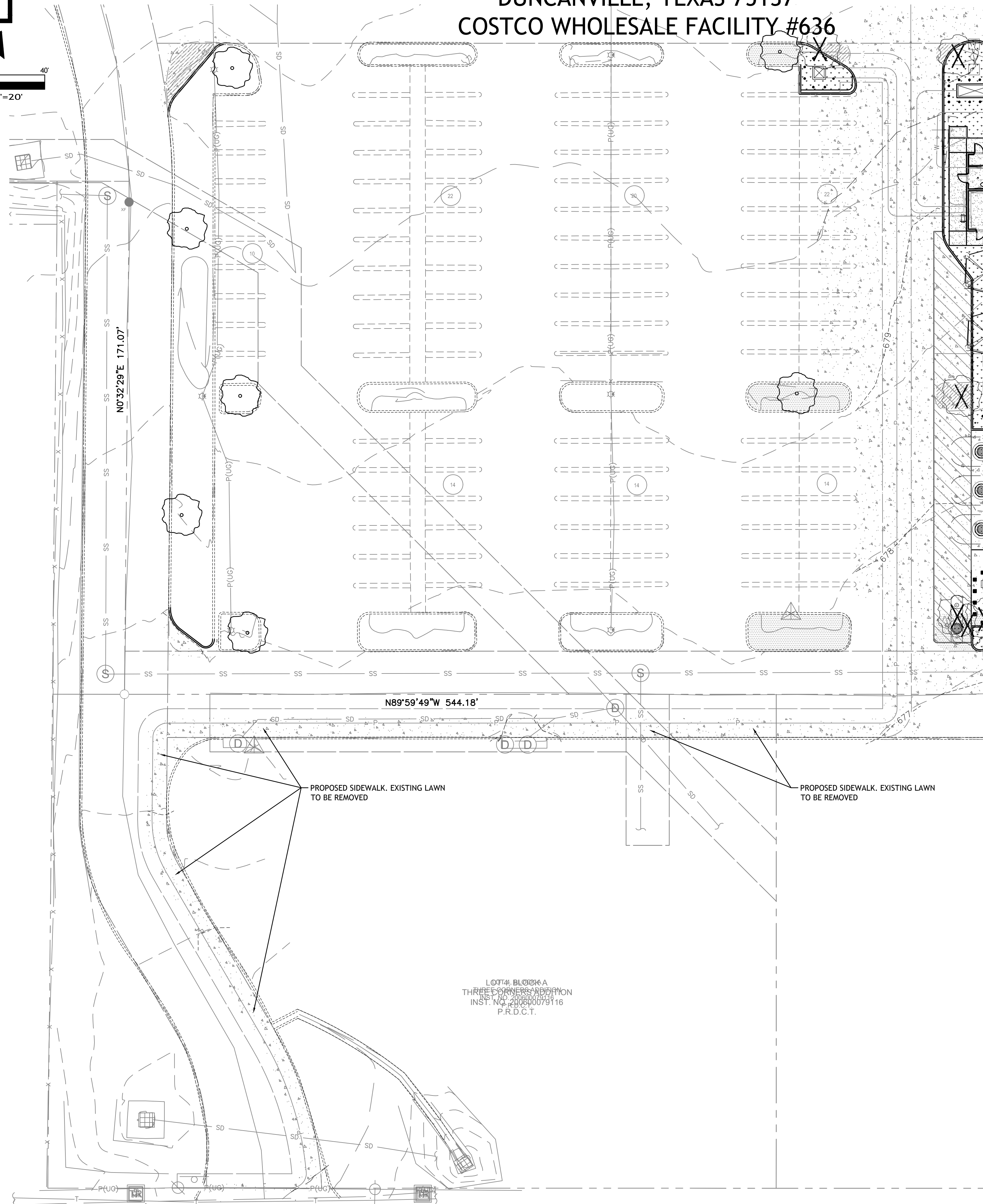
# LANDSCAPE PLAN

## COSTCO WHOLESALE ON-SITE RELOCATION

### 250 W. HIGHWAY 67 DUNCANVILLE, TEXAS 75137 COSTCO WHOLESALE FACILITY #636

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-  EXISTING TREE TO BE REMOVED



L 0074; BLOC 034 A  
THREE CORNERS ADDITION  
INS. NO. 200800079116  
P.R.D.C.T.

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No.	Date	By	Chd.	Appr.	Revision

Title:

LANDSCAPE PLAN - EAST  
250 W. HIGHWAY 67  
DUNCANVILLE, TEXAS 75137  
COSTCO WHOLESALE FACILITY #636

**COSTCO WHOLESALE**  
COSTCO WHOLESALE  
730 LAKE DRIVE  
ISSAQUAH, WA 98027

For:

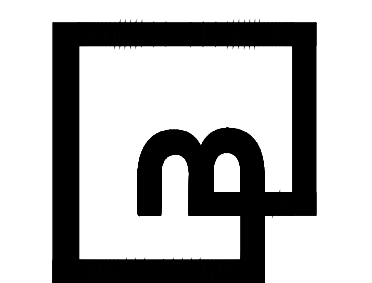


DATE SIGNED 11.3.25

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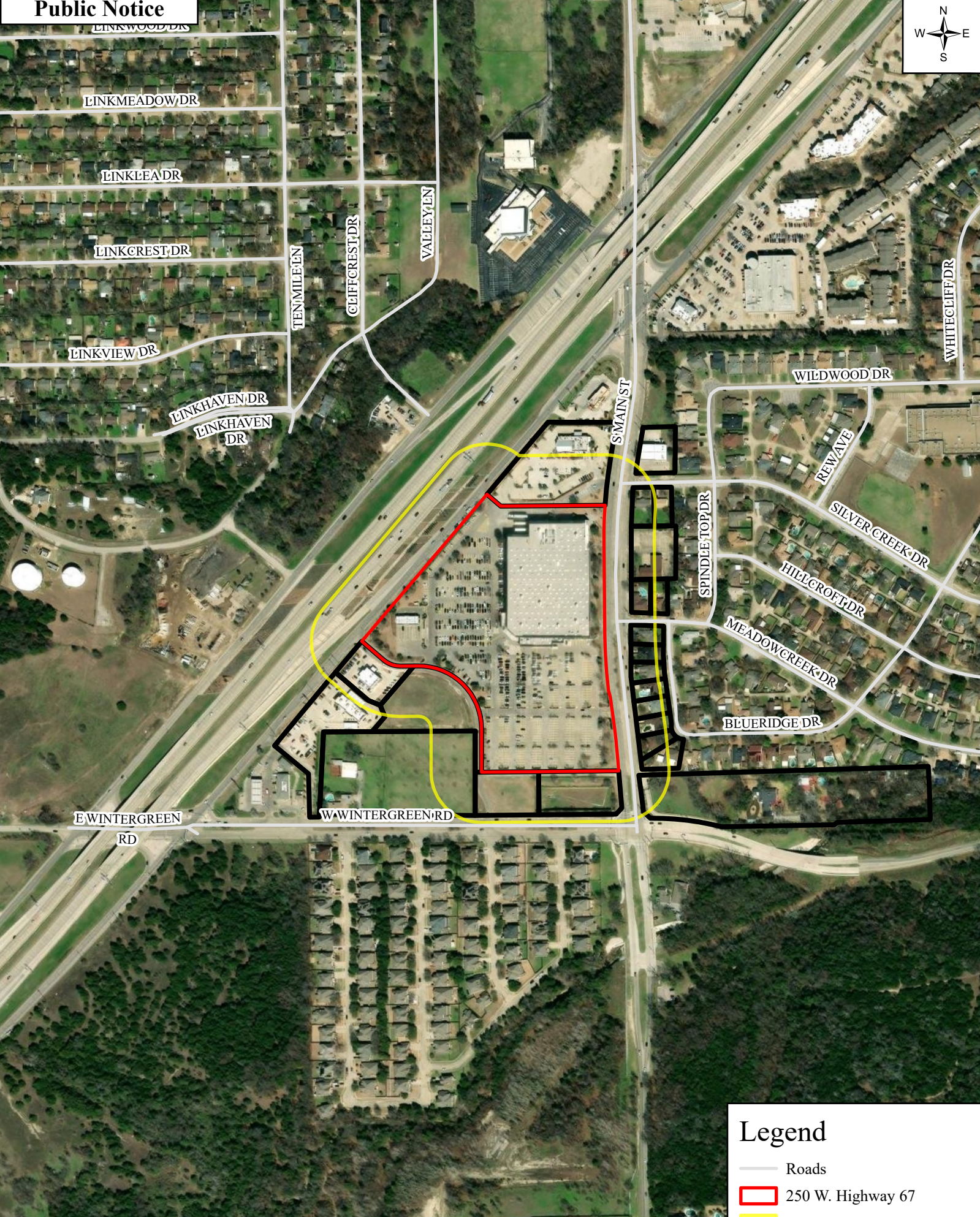


Job Number  
12217

Sheet  
4

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# Public Notice



## Legend

- Roads
- 250 W. Highway 67
- 200 ft. buffer
- Parcels within 200 ft. buffer

